

Agenda

Town of Seekonk, MA Planning Board

3/12/13
6:30 PM
Seekonk Town Hall
BOS Meeting Room

Type of meeting: Planning Board Regular Meeting, Public Hearing, Executive Session

Agenda topics – More information on each item can be found on our website – www.seekonk-ma.gov under Departments>Planning>Agenda Items

6:30 PM

Executive Session

Executive Session to discuss strategy relating to pending litigation, known as Najas Realty, LLC v. Abelson, et al., Land Court 2013 MISC 47603-KFS, which concerns the Pine Hill Estates Subdivision and 10 acres of land located at 524 Newman Avenue

Planning Board

Public Hearing

Definitive Subdivision: Pine Hill Estates - Plat 24, Lots 73 & 394 - 524 Newman Ave

Applicant: Najas Realty, LLC

ANR Plan: 49 & 59 Perrin Ave

Chevrette/Kane

Public Hearing

Subdivision Rules and Regulations Amendments

Planning Board

Correspondence:

Approval of Minutes: 2/12/13

Adjournment



Planning Board
100 PECK STREET
SEEKONK, MASSACHUSETTS 02771
1-508-336-2960

To: The Planning Board
From: John P. Hansen Jr., AICP, Town Planner
Date: March 4, 2013

DEFINITIVE PLAN REVIEW
Pine Hill Estates – Plat 24, Lot(s) 73 & 394 (524 Newman Ave.)

Summary: The applicant has submitted an Application for Approval of Definitive Plan for a Conservation Subdivision.

Findings of Fact:

Existing Conditions

- Lots 73 & 294 contain 10.93 acres of land with an existing dwelling and a wooded area to the rear. The property is in an R-2 Zoning District.

Proposal:

- Create 9 new house lots, all >15K sq. ft., on a ±500' public road ending in a cul-de-sac (Jacoby Way).
- Individual septic systems and public water will service the lots.
- Infiltration pond proposed for the drainage system.
- Percentage of disturbed areas (areas not left in natural state) is 25% (25% max); Open space areas will equal 57.81%, which is greater than the 40% minimum required. Wetland percentage of open space does not exceed wetland percentage of site.

Waivers:

- Section 8.7-Sidewalks on one side (both sides required) – Creates less impervious surface
- Section 7.4.1 – 20' drainage easement (30' required) – Due to smaller lot size/dimensional requirements within Conservation Subdivision, 30' not attainable
- Section 7.4.4 – Easement of 20' in width at dead end streets – No developable land behind subject property
- Section 7.2.1.5 – Minimum center line radius of 240' (250' required) - Cul-de-sac servicing 10 lots would have limited traffic amounts/speed
- Section 7.2.2.2 – Minimum width of roadway around cul-de-sac – 16' one-way travel lane (24' required) – Create less impervious surface

Proposed Conditions:

The following conditions of approval are offered:

1. Appropriate documentation shall be submitted for the establishment of a homeowner's association, deed restrictions on each lot indicating limits of disturbed areas,

which shall be delineated by a split rail fence and stated in said deed restriction, associated drainage easements, driveway and yard easement for driveway and timber wall, and an open space restriction on the open space land. These documents shall be submitted to the Planning Board prior to endorsement and recorded along with the Subdivision Plans.

2. Prior to issuance of a building permit for each lot, the lot owner/developer shall submit a lot site plan and supporting information to the Planning Board documenting the following:
 - a. The grading of the lot is consistent with the impervious surface coverage and the drainage patterns depicted on the approved Subdivision Plans.
 - b. The development of the individual lots will implement and maintain erosion and sediment control measures prior to and during construction as stipulated on the approved Subdivision Plans. The lot plan should illustrate the placement and details of these measures.
3. Prior to issuance of a building permit for lot 7, Board of Health approval shall be required indicating acceptable soils and groundwater conditions have been documented to support a soil absorption system and perc tests have been performed.
4. Prior to construction of the subdivision, additional soils data shall be obtained near the center and southern end of the infiltration basin to confirm soils and groundwater conditions are suitable for this facility. The Health Agent shall witness and approve of the additional soils data.
5. Prior to construction, the applicant shall provide copies to the Planning Board of the NOI filed for coverage under the EPA NPDES General Permit for construction activity and the SWPPP required under that permit.
6. Prior to placing the stormwater system into operation, a signed Illicit Discharge Compliance Statement must be provided to the Planning Board.
7. The homeowner's association shall submit annual reports to the Town Planner indicating compliance with the limit of disturbance.

DEFINITIVE SUBDIVISION PLAN

of

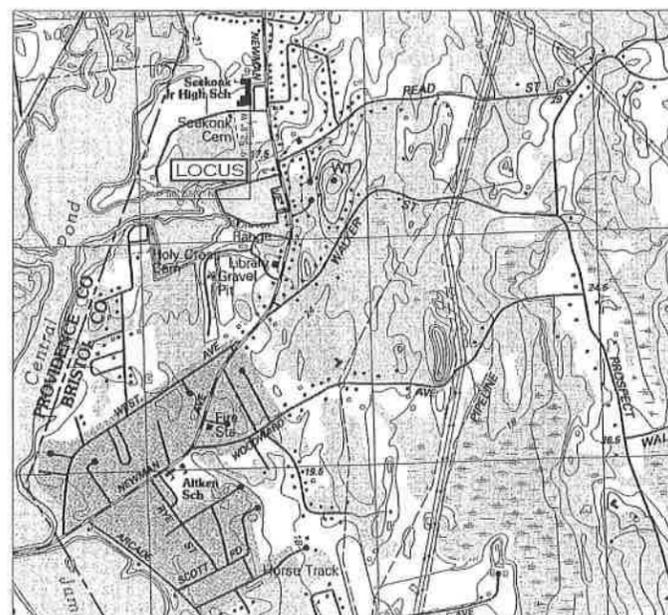
"PINE HILL ESTATES"

in

Seekonk, Massachusetts

Date: August 30, 2012
Revised: February 14, 2013

REGISTRY USE ONLY



LOCATION MAP

NTS

REQUESTED WAIVERS:

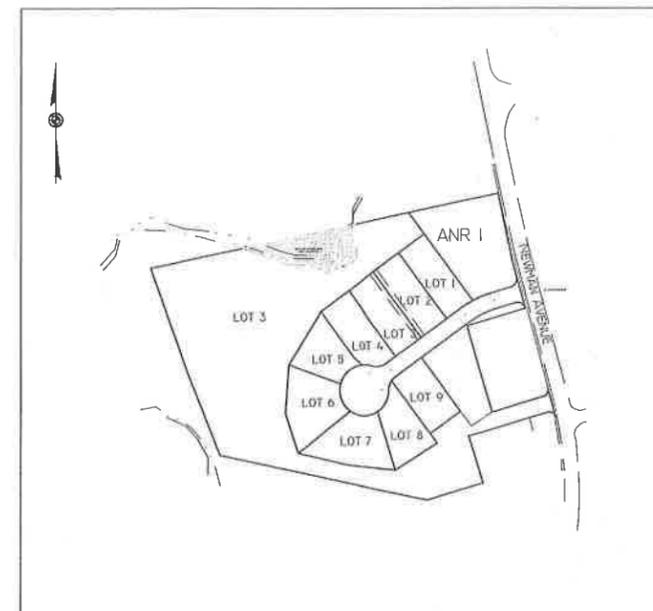
1. SECTION 7.2.1.5 MINIMUM CENTER LINE RADIUS FROM 250' TO 240'
2. SECTION 8.7.1 SIDEWALKS ON BOTH SIDES OF STREET TO SIDEWALK ON ONE SIDE OF STREET
3. SECTION 7.4.1 EASEMENT FOR DRAINAGE FACILITIES FROM 30' TO 20'
4. SECTION 7.4.4 EASEMENT OF 20' IN WIDTH AT DEAD END STREETS
5. SECTION 7.2.4.2 ASPHALT WIDTH AROUND CUL-DE-SAC FROM 32.5 WIDTH TO 16' WIDTH.

INDEX OF DRAWINGS

SHEET NUMBER	DESCRIPTION
1	Cover & Index Sheet
2	Existing Conditions Plan
3	Lotting Plan
4	Grading Plan
5	Disturbance and Tree Overlay Plan
6	Plan & Profile Jacoby Way
7	Erosion Control
8, 9 & 10	Detail Sheet
11	Soil Logs

NOTES:

1. OWNERS: NAJAS REALTY LLC
111 MILES AVENUE, EAST PROVIDENCE R.I. 02916
2. ASSESSORS DESIGNATION - MAP 24 LOTS 73 & 394
3. TITLE REFERENCE: DEED BOOK 19914 PAGE 40 (1-30-2012)
4. SITE SHOWN IS LOCATED IN ZONING DISTRICT "P-2" (GROUNDWATER AQUIFER PROTECTION DISTRICT)
MIN. AREA= 22,500 S.F. (40,000 S.F. MIN AQUIFER)
STREET FRONTAGE = 120' MIN
FRONT SETBACK WIDTH = 150' MIN
FRONT YARD = 35'
REAR YARD = 50'
SIDE YARD = 25' (2 STORY)
5. WETLANDS DELINEATION BY ECOSYSTEM SOLUTIONS INC.
6. SITE SHOWN IS PARTIALLY LOCATED IN FLOOD HAZARD ZONE "AE" AS SHOWN ON FIRM MAP 25005C0202F DATED JULY 7, 2009.
7. ELEVATIONS SHOWN BASED ON NAVD 88 DATUM.



SITE MAP

SCALE 1"= 200'

CERTIFICATIONS

"I CERTIFY THAT THIS PLAN HAS BEEN PREPARED IN ACCORDANCE WITH THE RULES AND REGULATIONS OF THE REGISTERS OF DEEDS." THE CERTIFICATION SHOWN HEREON IS INTENDED TO MEET REGISTRY OF DEEDS REQUIREMENTS AND IS NOT A CERTIFICATION TO THE TITLE OR OWNERSHIP OF THE LAND SHOWN.

PROFESSIONAL LAND SURVEYOR _____ DATE _____

SUBJECT TO A COVENANT DULY EXECUTED DATED THE _____ DAY OF _____, RUNNING WITH THE LAND, TO BE DULY RECORDED BY OR FOR THE OWNER OF RECORD, THIS PLAN IS SUBJECT TO ALL CONDITIONS OF THE SEEKONK PLANNING BOARD CERTIFICATE OF ACTION DATED _____ FILED WITH THE SEEKONK TOWN CLERK ON _____ AND HEREWITH RECORDED AS A PART OF THIS PLAN.

I HEREBY CERTIFY THAT THERE HAS BEEN NO APPEAL TAKEN TO THIS PLANNING BOARD ACTION DURING THE 20 DAY STATUTORY APPEAL PERIOD.
DATE: _____ TOWN CLERK, TOWN OF SEEKONK _____

SEEKONK PLANNING BOARD
APPROVED UNDER SUBDIVISION CONTROL LAW

PRELIM. PLAN FILED _____ CHAIRMAN _____
DEF. PLAN FILED _____ CLERK _____
PUBLIC HEARING _____
DEF. PLAN APPROVED _____
DEF. PLAN ENDSORED _____

REVISION #	DATE	COMMENTS
1	11-04-12	TOWN ENGINEERS COMMENTS
2	11-20-12	TOWN ENGINEERS COMMENTS
3	02-14-2013	REVISED TO 9 LOTS

COVER SHEET

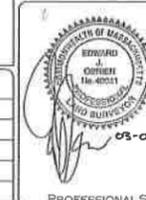
"PINE HILL ESTATES"

524 NEWMAN AVENUE, SEEKONK MA. 02771
ASSESSORS MAP 24 LOTS 73 & 394

PREPARED FOR: **NAJAS REALTY LLC**
111 MILES AVENUE, EAST PROVIDENCE, RI 02914

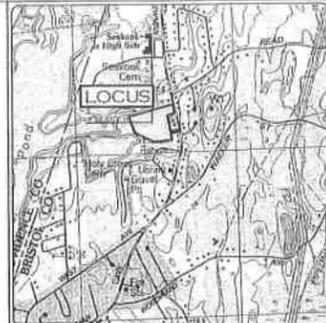
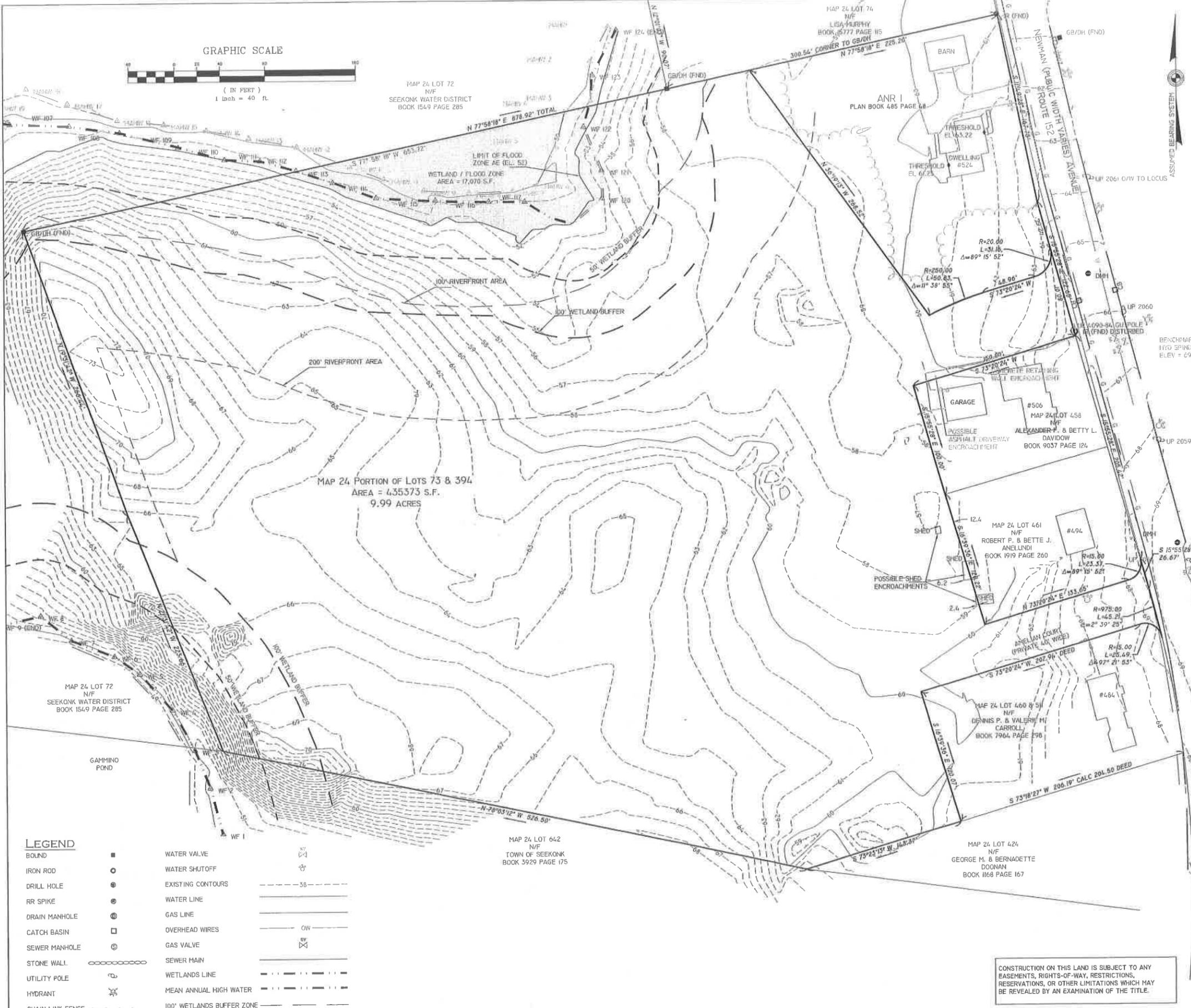
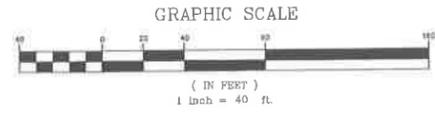
JOB # 12-002 SCALE: NTS DRAWN BY: SCA DATE: AUGUST 30, 2012

REVISED: FEB. 14, 2013 REVISE TO 9 LOTS



PROFESSIONAL ENGINEERS AND LAND SURVEYORS
INSITE PROFESSIONAL COMPLEX, SUITE 1
1539 FALL RIVER AVENUE
SEEKONK, MA 02771
PHONE: (508) 336-4500
FAX: (508) 336-4555

SHEET
1
OF 11



LOCATION (NOT TO SCALE) MAP

REGISTRY USE ONLY

NOTES:

- OWNERS: NAJAS REALTY LLC
111 MILES AVENUE, EAST PROVIDENCE R.I. 02916
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FRONT SETBACK WIDTH = 150' MIN
REAR YARD = 50'
SIDE YARD = 25' (2 STORY)
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- SITE SHOWN IS PARTIALLY LOCATED IN FLOOD HAZARD ZONE "AE" AS SHOWN ON FIRM MAP 2500SC0202P DATED JULY 7, 2009.
- ELEVATIONS SHOWN BASED ON NAVD 88 DATUM.

"I HEREBY CERTIFY THAT THE PROPERTY LINES SHOWN ON THIS PLAN ARE THE LINES DIVIDING EXISTING OWNERSHIPS, AND THE LINES OF THE STREETS AND WAYS SHOWN ARE THOSE OF PUBLIC OR PRIVATE STREETS OR WAYS ALREADY ESTABLISHED, AND THAT NO NEW LINES FOR DIVISION OF OWNERSHIP OR FOR NEW WAYS ARE SHOWN. "I CERTIFY THAT THIS PLAN HAS BEEN PREPARED IN ACCORDANCE WITH THE RULES AND REGULATIONS OF THE REGISTERS OF DEEDS." THE CERTIFICATION SHOWN HEREON IS INTENDED TO MEET REGISTRY OF DEEDS REQUIREMENTS AND IS NOT A CERTIFICATION TO THE TITLE OR OWNERSHIP OF THE LAND SHOWN.

Professional Signature
PROFESSIONAL LAND SURVEYOR DATE

SUBJECT TO A COVENANT DULY EXECUTED DATED THE _____ DAY OF _____ RUNNING WITH THE LAND, TO BE DULY RECORDED BY OR FOR THE OWNER OF RECORD. THIS PLAN IS SUBJECT TO ALL CONDITIONS OF THE SEEKONK PLANNING BOARD CERTIFICATE OF ACTION DATED _____ FILED WITH THE SEEKONK TOWN CLERK ON _____ AND HEREWITH RECORDED AS A PART OF THIS PLAN.

I HEREBY CERTIFY THAT THERE HAS BEEN NO APPEAL TAKEN TO THIS PLANNING BOARD ACTION DURING THE 20 DAY STATUTORY APPEAL PERIOD.
DATE: _____ TOWN CLERK, TOWN OF SEEKONK

SEEKONK PLANNING BOARD
APPROVED UNDER SUBDIVISION CONTROL LAW

PRELIM. PLAN FILED	CHAIRMAN
DEF. PLAN FILED	CLERK
PUBLIC HEARING	
DEF. PLAN APPROVED	
DEF. PLAN ENDORSED	

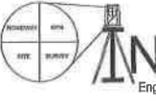
EXISTING CONDITIONS

"PINE HILL ESTATES"
524 NEWMAN AVENUE, SEEKONK MA, 02771
ASSESSORS MAP 24 LOTS 73 & 394

PREPARED FOR: NAJAS REALTY LLC
111 MILES AVENUE, EAST PROVIDENCE, RI 02914

JOB # 12-002 SCALE: 1" = 40' DRAWN BY: SCA DATE: AUGUST 30, 2012

REVISED: FEB. 14, 2013 REVISE TO 9 LOTS



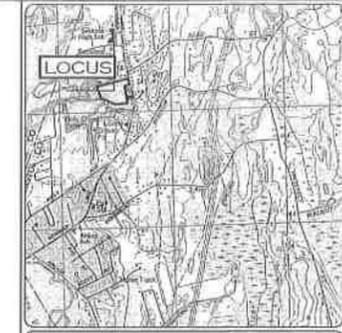
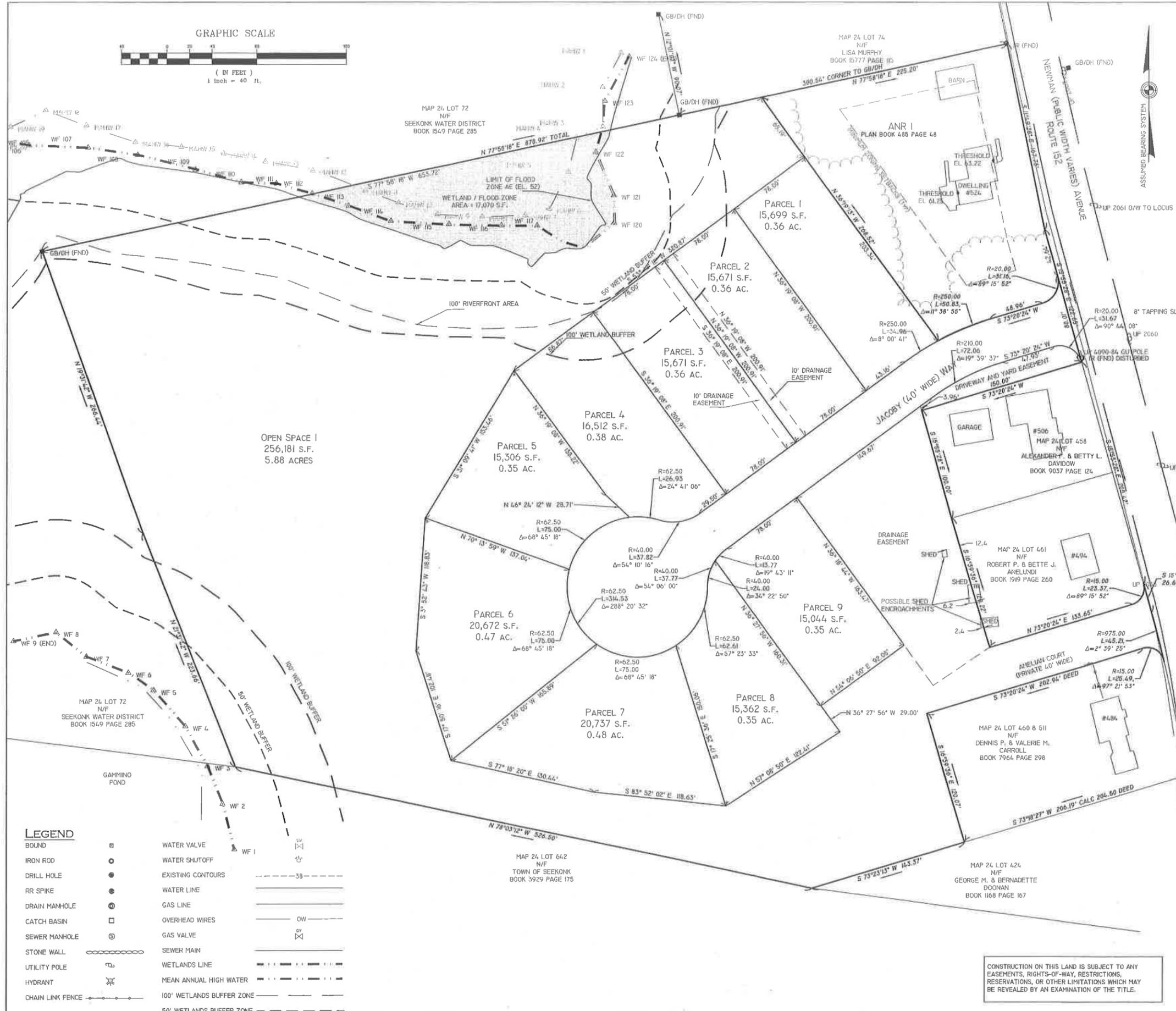
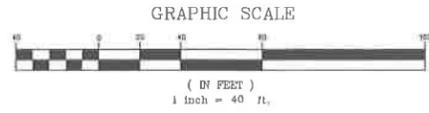
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1539 FALL RIVER AVENUE
SEEKONK, MA 02771
PHONE: (508) 336-4500
FAX: (508) 336-4558

SHEET
2
OF 11

CONSTRUCTION ON THIS LAND IS SUBJECT TO ANY EASEMENTS, RIGHTS-OF-WAY, RESTRICTIONS, RESERVATIONS, OR OTHER LIMITATIONS WHICH MAY BE REVEALED BY AN EXAMINATION OF THE TITLE.

LEGEND

BOUND	■	WATER VALVE	⊕
IRON ROD	●	WATER SHUTOFF	⊕
DRILL HOLE	⊙	EXISTING CONTOURS	--- 50 ---
RR SPIKE	⊙	WATER LINE	— — — — —
DRAIN MANHOLE	⊙	GAS LINE	— — — — —
CATCH BASIN	⊕	OVERHEAD WIRES	— — — — — OW — — — — —
SEWER MANHOLE	⊕	GAS VALVE	⊕
STONE WALL	⊕	SEWER MAIN	— — — — —
UTILITY POLE	⊕	WETLANDS LINE	— — — — —
HYDRANT	⊕	MEAN ANNUAL HIGH WATER	— — — — —
CHAIN LINK FENCE	— — — — —	100' WETLANDS BUFFER ZONE	— — — — —
		50' WETLANDS BUFFER ZONE	— — — — —



LOCATION (NOT TO SCALE) MAP

REGISTRY USE ONLY

- NOTES:**
- OWNERS: NAJAS REALTY LLC
111 MILES AVENUE, EAST PROVIDENCE R.I. 02916
 - ASSESSORS DESIGNATION - MAP 24 LOTS 73 & 394
 - TITLE REFERENCE: DEED BOOK 19914 PAGE 40 (1-30-2012)
 - SITE SHOWN IS LOCATED IN ZONING DISTRICT "R-2" - CLUSTER REQUIREMENTS
MIN. AREA= 15,000 S.F.
STREET FRONTAGE = 50' MIN
FRONT YARD = 20'
REAR YARD = 10'
SIDE YARD = 10'
 - CLUSTER CALCULATIONS:
OPEN SPACE REQUIREMENTS = 4.0% OF TOTAL PARCEL
(BASED ON AREA OF REMAINING LAND AFTER ANR LOTS DIVIDED OFF)
TOTAL PARCEL 435,373 S.F. x .40 = 174,149 S.F. MIN. REQUIRED
PROPOSED OPEN SPACE 251,737 S.F. > 174,149 S.F. OK
251,737 S.F. / 435,373 S.F. = 57.82% OPEN SPACE
WETLAND % CALCULATIONS
TOTAL SITE 435,373 - WETLANDS 15,660 = 419,713 S.F. UPLANDS (96.40%)
REQUIRED OPEN SPACE 174,346 S.F. x 96.40% UPLAND = 168,070 S.F.
PROPOSED OPEN SPACE 256,181 - WETLANDS 15,660 = 240,521 S.F. OPEN UPLAND
240,521 S.F. OPEN UPLAND > REQUIRED OPEN UPLAND 168,070 OK
 - WETLANDS DELINEATION BY ECOSYSTEM SOLUTIONS INC.
 - SITE SHOWN IS PARTIALLY LOCATED IN FLOOD HAZARD ZONE "AE" AS SHOWN ON FIRN MAP 25005C0202F DATED JULY 7, 2009.
 - ELEVATIONS SHOWN BASED ON NAVD 88 DATUM.
 - PROPOSED BOUND SHOWN AS "P"
 - DRIVEWAY AND YARD EASEMENT FOR THE BENEFIT OF MAP 24 LOT 458.

I CERTIFY THAT THIS PLAN HAS BEEN PREPARED IN ACCORDANCE WITH THE RULES AND REGULATIONS OF THE REGISTERS OF DEEDS. THE CERTIFICATION SHOWN HEREON IS INTENDED TO MEET REGISTRY OF DEEDS REQUIREMENTS AND IS NOT A CERTIFICATION TO THE TITLE OR OWNERSHIP OF THE LAND SHOWN.

S. L. O'S 03-01-2013
PROFESSIONAL LAND SURVEYOR DATE

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APPROVED UNDER SUBDIVISION CONTROL LAW

PRELIM. PLAN FILED	CHAIRMAN
DEF. PLAN FILED	CLERK
PUBLIC HEARINGS	
DEF. PLAN APPROVED	
DEF. PLAN ENDORSED	

LOTING PLAN

"PINE HILL ESTATES"
524 NEWMAN AVENUE, SEEKONK MA, 02771
ASSESSORS MAP 24 LOTS 73 & 394

PREPARED FOR: NAJAS REALTY LLC
111 MILES AVENUE, EAST PROVIDENCE, RI 02914

JOB # 12-002 SCALE: 1"=40' DRAWN BY: SCA DATE: AUGUST 30, 2012

REVISED: FEB. 14, 2013 REVISE TO 9 LOTS

PROFESSIONAL ENGINEERS AND LAND SURVEYORS

INSITE
Engineering Services, LLC

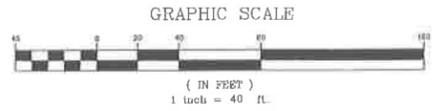
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FAX: (508) 336-4558

SHEET 3 OF 11

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LEGEND

BOUND	WATER VALVE
IRON ROD	WATER SHUTOFF
DRILL HOLE	EXISTING CONTOURS
RR SPIKE	WATER LINE
DRAIN MANHOLE	GAS LINE
CATCH BASIN	OVERHEAD WIRES
SEWER MANHOLE	GAS VALVE
STONE WALL	SEWER MAIN
UTILITY POLE	WETLANDS LINE
HYDRANT	MEAN ANNUAL HIGH WATER
CHAIN LINK FENCE	100' WETLANDS BUFFER ZONE
	50' WETLANDS BUFFER ZONE



NOTES:

- OWNERS: NAJAS REALTY LLC
111 MILES AVENUE, EAST PROVIDENCE RI, 02914
- ASSESSORS DESIGNATION - MAP 24, LOTS 73 & 394
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STREET FRONTAGE = 50' MIN
FRONT YARD = 20'
REAR YARD = 10'
SIDE YARD = 10'
- CLUSTER CALCULATIONS:
OPEN SPACE REQUIREMENTS = 40% OF TOTAL PARCEL
(BASED ON AREA OF REMAINING LAND AFTER ANR LOTS DIVIDED OFF)
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PROPOSED OPEN SPACE 251,737 S.F. > 174,149 S.F. OK
251,737 S.F. / 435,373 S.F. = 57.82% OPEN SPACE

WETLAND % CALCULATIONS
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DRILL HOLE	●	EXISTING CONTOURS	---58---
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CATCH BASIN	⊕	OVERHEAD WIRES	——— OW ——
SEWER MANHOLE	⊕	GAS VALVE	⊕
STONE WALL	⊕	SEWER MAIN	———
UTILITY POLE	⊕	WETLANDS LINE	⋯⋯⋯
HYDRANT	⊕	MEAN ANNUAL HIGH WATER	⋯⋯⋯
CHAIN LINK FENCE	⊕	100' WETLANDS BUFFER ZONE	⋯⋯⋯
		50' WETLANDS BUFFER ZONE	⋯⋯⋯

GRADING & SITE DISTANCE PLAN

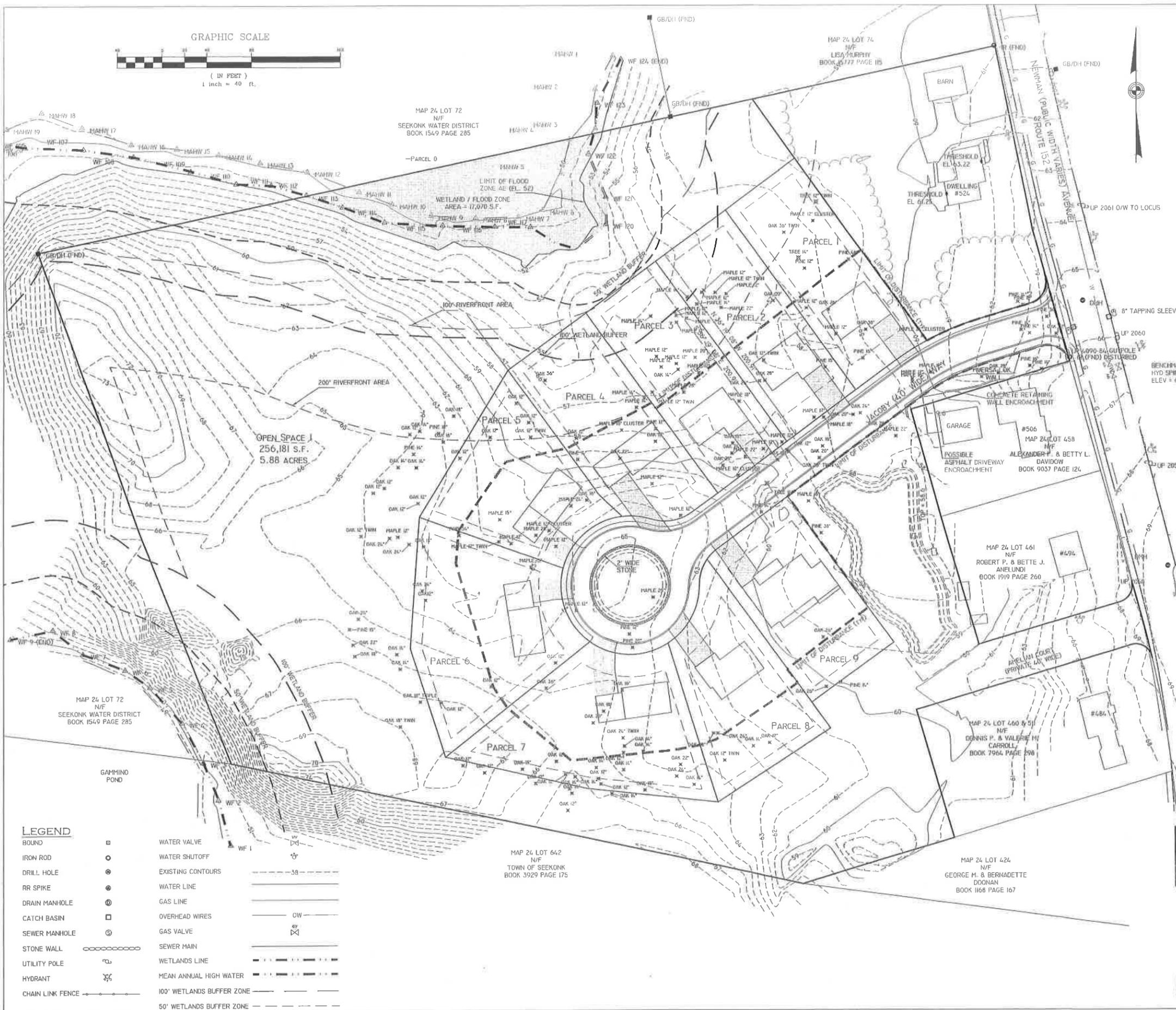
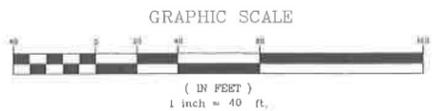
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ASSESSORS MAP 24, LOTS 73 & 394

PREPARED FOR: NAJAS REALTY LLC
111 MILES AVENUE, EAST PROVIDENCE, RI 02914

JOB #	SCALE	DRAWN BY	DATE
12-002	1" = 40'	SCA	AUGUST 30, 2012

REVISED: FEB. 14, 2013 REVISE TO 9 LOTS

	PROFESSIONAL ENGINEERS AND LAND SURVEYORS	INSITE Engineering Services, LLC 1839 FALL RIVER AVENUE SEEKONK, MA 02771 PHONE: (508) 336-4500 FAX: (508) 336-4558	SHEET 4 OF 11
	INSITE PROFESSIONAL ENGINEERS, SUITE 1		



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- ELEVATIONS SHOWN BASED ON NAVD 88 DATUM.
- DISTURBANCE CALCULATION (25% OF THE TOTAL TRACT)
TOTAL AREA OF PARCEL = 435,373± S.F.
TOTAL ALLOWABLE DISTURBANCE 435,373 x .25 (25%) = 108,843± S.F.
PROPOSED DISTURBANCE = 108,843± S.F. / 435,362 = 25.0%
PROPOSED 25.0% = ALLOWABLE 25.0% OK

DISTURBANCE AND TREE OVERLAY PLAN

" PINE HILL ESTATES "
524 NEWMAN AVENUE, SEEKONK MA. 02771
ASSESSORS MAP 24 LOTS 73 & 394

PREPARED FOR: **NAJAS REALTY LLC**
111 MILES AVENUE, EAST PROVIDENCE, RI 02914

JOB # 12-002	SCALE: 1" = 40'	DRAWN BY: SCA	DATE: AUGUST 30, 2012
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REVISED: FEB. 7, 2013 REDUCE LOTS / MODIFY ROAD LAYOUT

PROFESSIONAL SEAL

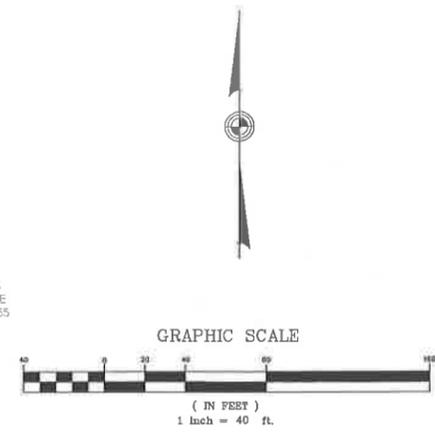
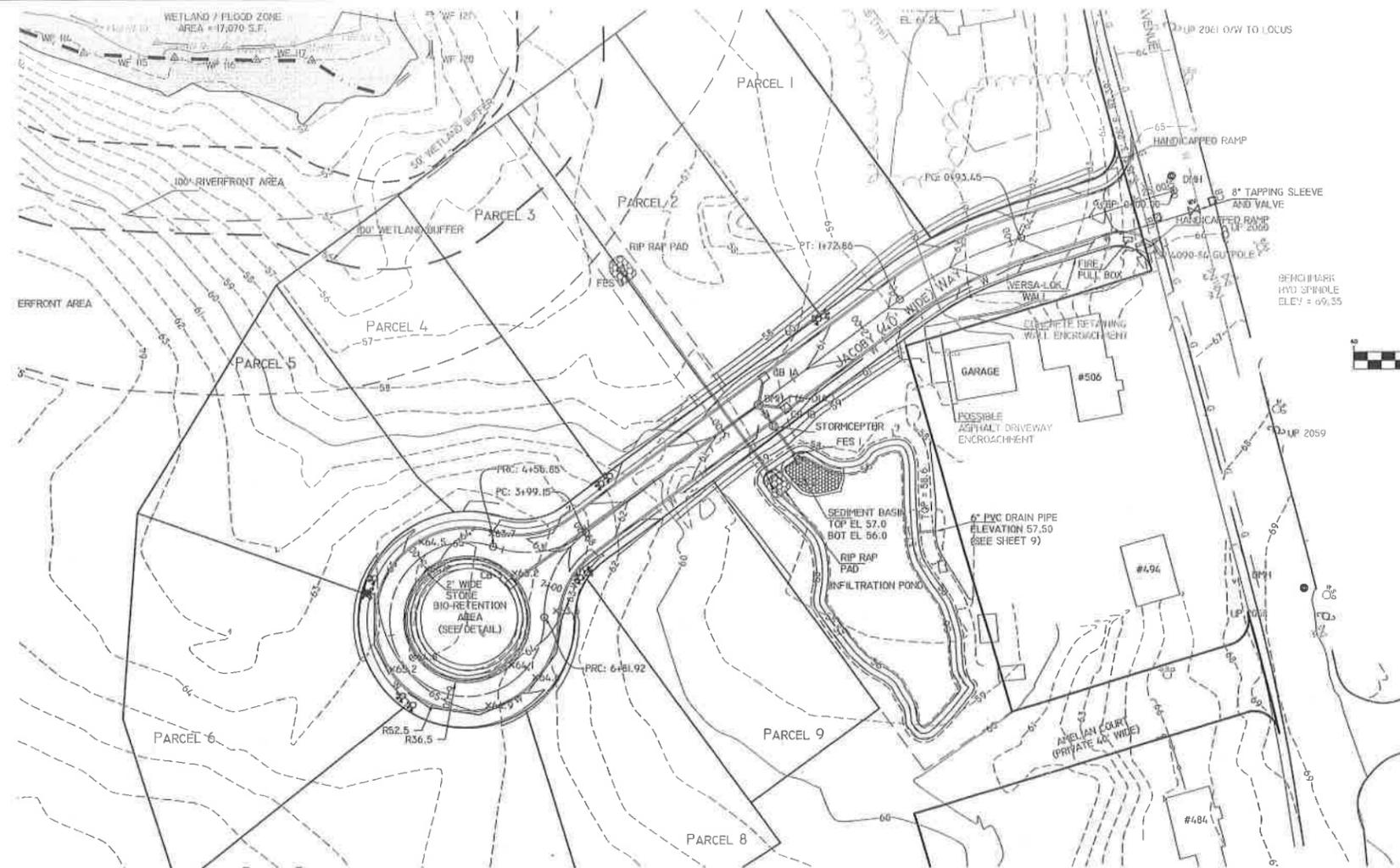
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5
OF 11

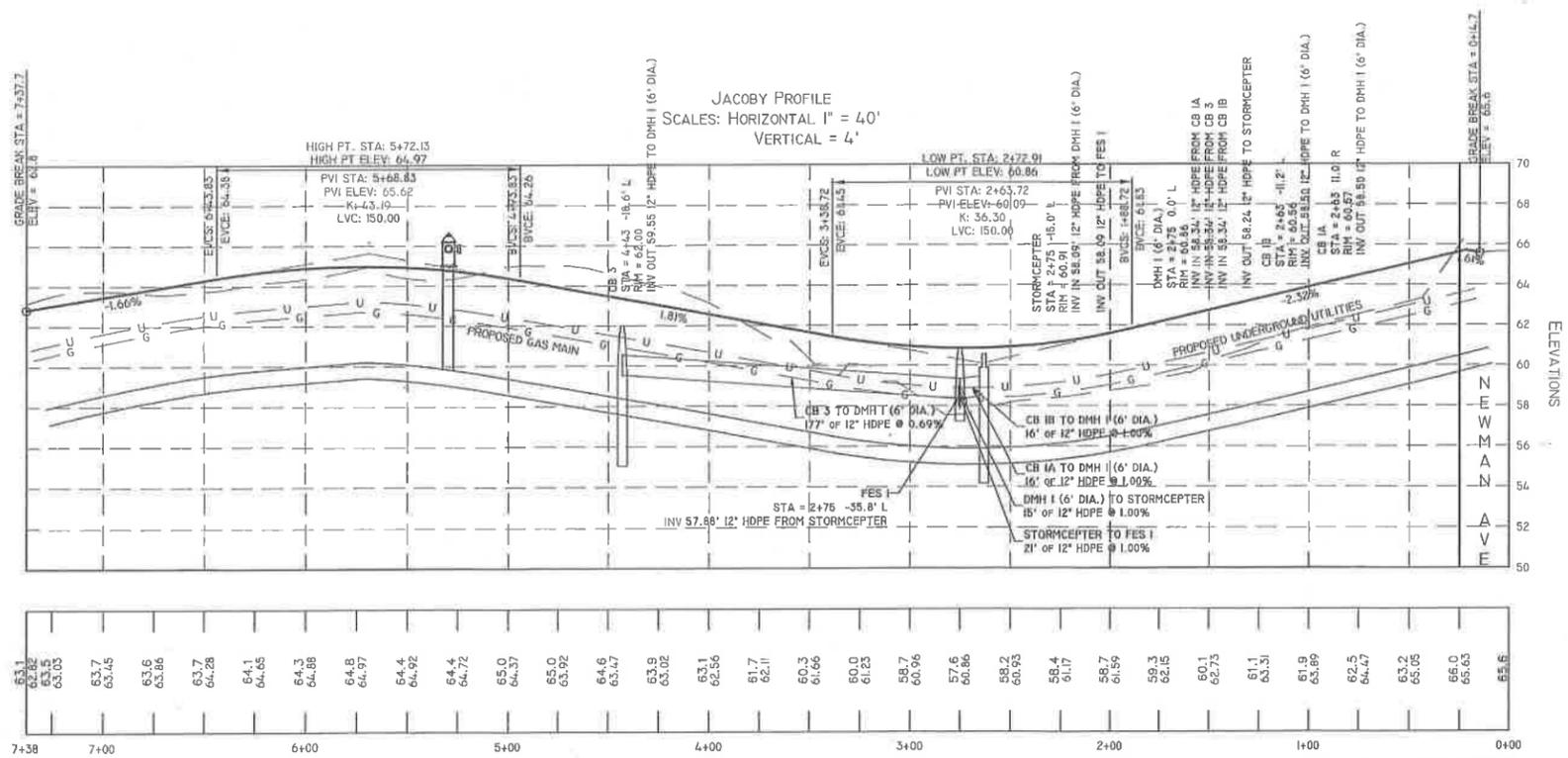
LEGEND

BOUND	▣	WATER VALVE	⊠
IRON ROD	○	WATER SHUTOFF	⊙
DRILL HOLE	⊙	EXISTING CONTOURS	---
RR SPIKE	⊙	WATER LINE	—
DRAIN MANHOLE	⊙	GAS LINE	—
CATCH BASIN	⊠	OVERHEAD WIRES	—
SEWER MANHOLE	⊙	GAS VALVE	⊠
STONE WALL	⊞	SEWER MAIN	—
UTILITY POLE	⊞	WETLANDS LINE	---
HYDRANT	⊞	MEAN ANNUAL HIGH WATER	---
CHAIN LINK FENCE	—	100' WETLANDS BUFFER ZONE	---
		50' WETLANDS BUFFER ZONE	---



LEGEND

PROPOSED BOUND	▭	WATER VALVE	⊗
IRON ROD	○	WATER SHUTOFF	⊕
DRILL HOLE	●	EXISTING CONTOURS	--- 58 ---
RR SPIKE	⦿	WATER LINE	—
DRAIN MANHOLE	⊙	GAS LINE	—
CATCH BASIN	□	OVERHEAD WIRES	— OW —
SEWER MANHOLE	⊕	GAS VALVE	⊗
STONE WALL	⊖	SEWER MAIN	—
UTILITY POLE	⊕	WETLANDS LINE	—
HYDRANT	⊗	MEAN ANNUAL HIGH WATER	—
CHAIN LINK FENCE	—	100' WETLANDS BUFFER ZONE	—
		50' WETLANDS BUFFER ZONE	—



PLAN & PROFILE JACOBY WAY

" PINE HILL ESTATES "
 524 NEWMAN AVENUE, SEEKONK MA, 02771
 ASSESSORS MAP 24 LOTS 73 & 394

PREPARED FOR: **NAJAS REALTY LLC**
 111 MILES AVENUE, EAST PROVIDENCE, RI 02914

JOB # 12-002	SCALE: 1" = 40'	DRAWN BY: SCA	DATE: AUGUST 30, 2012
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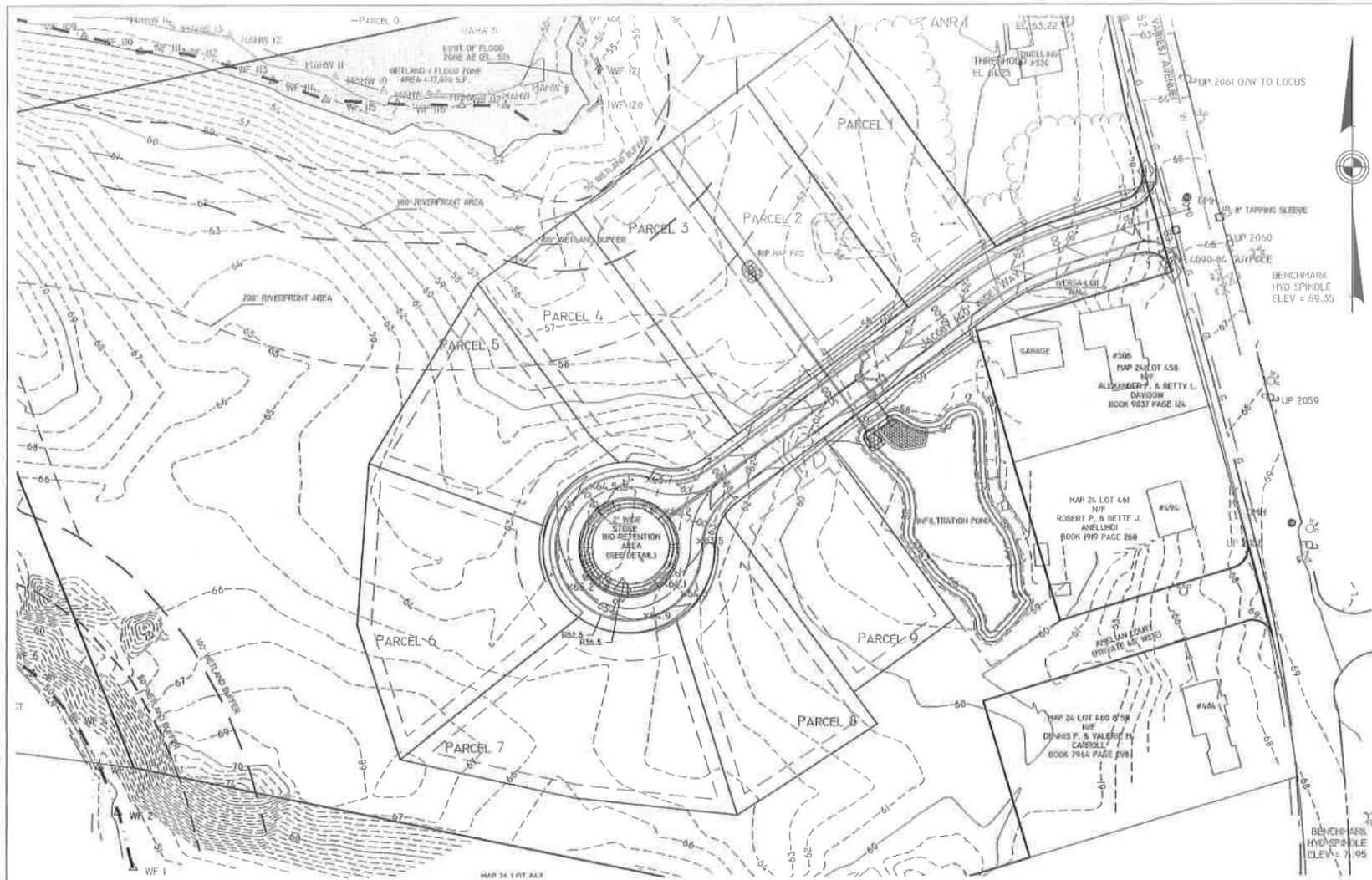
REVISED: FEB. 14, 2013 REVISE TO 9 LOTS

PROFESSIONAL SEAL

INSITE
Engineering Services, LLC

PROFESSIONAL ENGINEERS
AND LAND SURVEYORS
INSITE PROFESSIONAL COMPLEX, SUITE 1
1539 FALL RIVER AVENUE
SEEKONK, MA 02771
PHONE: (508) 336-4500
FAX: (508) 336-4559

SHEET
6
OF 11



OPERATION & MAINTENANCE PLAN

THIS PLAN SHOULD BE USED IN CONJUNCTION WITH SEPARATE OPERATIONS AND MAINTENANCE PLAN DOCUMENT FOR PINE HILL ESTATES NOV. 20, 2012.

THIS PLAN SHOULD BE USED IN CONJUNCTION WITH SEPARATE STORMWATER POLLUTION PREVENTION PLAN DOCUMENT FOR PINE HILL ESTATES NOV. 20, 2012. THE MAINTENANCE AND UPKEEP ON THE ROADWAY WILL INCLUDE THE FOLLOWING ELEMENTS:

CONSTRUCTION VEHICLES SHALL BE LIMITED TO ONE ACCESS POINT ON NEWMAN AVENUE WHERE A CRUSHED-STONE CONSTRUCTION PAD ENTRANCE SHALL BE INSTALLED IN THE AREA OF THE PERMANENT ROADWAY TO ENSURE THAT MUD AND DEBRIS ARE NOT TRACKED ONTO THE ROADWAY. IF MUD IS INADVERTENTLY TRACKED ONTO THE ROAD, IT SHOULD BE REMOVED PROMPTLY.

GENERAL MAINTENANCE OF EROSION CONTROL ELEMENTS INCLUDING REGRADING, REVEGETATION, REPLACING RIPRAP, ETC., ON AN AS NEEDED BASIS.

THE BASE OF THE POND SHALL BE MONITORED FOR APPROPRIATE GROWTH. WOODY GROWTH SHALL BE CLEARED AS PART OF THE SEMI ANNUAL MAINTENANCE PROGRAM.

ALL STORMWATER MANAGEMENT SYSTEMS MUST HAVE AN OPERATION AND MAINTENANCE PLAN TO ENSURE THAT SYSTEMS FUNCTION AS DESIGNED.

NON-ORGANIC FERTILIZERS AND PESTICIDES SHALL NOT BE USED WITHIN 100' OF THE REGULATED WETLAND RESOURCE AREAS AND THROUGHOUT THE SUBDIVISION, WITHIN THE WETLAND, RIVERFRONT BUFFER OR OPEN SPACE.

ALL MAINTENANCE BYPRODUCTS INCLUDING GRASS, BRUSH, SEDIMENTATION, ETC. SHALL BE REMOVED AND DISPOSED OF PROPERLY. NO MATERIALS SHALL BE DUMPED WITHIN 25' OF THE WETLAND EDGE.

THE OWNER WILL BE RESPONSIBLE FOR THE OPERATION AND MAINTENANCE OF THE STORMWATER MANAGEMENT SYSTEM AND ALL OF ITS APPURTENANCES. THE FOLLOWING MAINTENANCE PROGRAM SHALL BE IMPLEMENTED:

- A. DEEP SUMP CATCH BASINS
 - 1. AT A MINIMUM, DEEP SUMPS SHALL BE CLEANED FOUR (4) TIMES PER YEAR, PREFERABLY MONTHLY FOR MAXIMUM EFFICIENCY.
 - 2. ALL SEDIMENTS SHALL BE HANDLED PROPERLY AND DISPOSED IN COMPLIANCE WITH LOCAL, STATE, AND FEDERAL REGULATIONS.
- B. INFILTRATION BASINS
 - 1. INSPECT FACILITY FOR SIGNS OF WETNESS OR DAMAGE TO STRUCTURES TWICE A YEAR.
 - 2. IF DEAD OR DYING GRASS ON THE BOTTOM IS OBSERVED, CHECK TO ENSURE THAT WATER PERCOLATES 2-3 DAYS FOLLOWING STORMS.
 - 3. SEED OR SOO TO RESTORE GROUND COVER.
 - 4. NOTE SIGNS OF PETROLEUM HYDROCARBON CONTAMINATION AND HANDLE PROPERLY.
 - 5. SHALL BE MOWED TO NO LESS THAN 4 INCHES AND ALL GRASS CLIPPING SHALL BE REMOVED AFTER MOWING.
 - 6. TRASH AND OTHER DEBRIS SHOULD BE REMOVED.
 - 7. ANY NECESSARY REPAIRS SHOULD BE MADE IMMEDIATELY.
 - 8. REPAIR UNDERCUT AND ERODED AREAS AT INFLOW AND OUTFLOW STRUCTURES.
 - 9. SCRAPE BOTTOM AND REMOVE SEDIMENT, RESTORE ORIGINAL CROSS-SECTION AND INFILTRATION RATE EVERY FIVE YEARS.
- C. WATER QUALITY INLETS (STORMCEPTOR) - WQI
 - 1. THE WQI'S SHALL BE INSPECTED TWICE PER YEAR TO ASSURE THEY ARE FUNCTIONING PROPERLY, AND CLEANED BY REMOVING SEDIMENT AND DEBRIS ONCE PER YEAR OR ADDITIONALLY AS NECESSARY. CLEANING SHALL BE PERFORMED BY USE OF A VACUUM TRUCK OR OTHER METHOD AS RECOMMENDED BY THE WQI MANUFACTURER.
 - 2. ALL SEDIMENT AND HYDROCARBONS (PETROLEUM PRODUCTS) SHALL BE PROPERLY HANDLED AND DISPOSED IN ACCORDANCE WITH APPLICABLE GUIDELINES SIMILAR TO CATCH BASIN SEDIMENTS.
 - 3. ALL DRAINAGE SYSTEM OUTLETS SHALL ALSO BE INSPECTED FOR DEBRIS AND MAINTAINED ACCORDINGLY. INSPECTION AND MAINTENANCE SHALL OCCUR IN MAY AND DECEMBER OF EACH YEAR.
 - 4. ALL INSPECTIONS AND MAINTENANCE SHALL BE PERFORMED BY QUALIFIED INDIVIDUALS. RECORDS OF THE INSPECTIONS AND MAINTENANCE SHALL BE KEPT FOR A PERIOD OF FIVE (5) YEARS AND SHALL BE MADE AVAILABLE UPON REQUEST.
- D. BIO-RETENTION AREAS
 - 1. BIORETENTION POND SHALL BE INSPECTED AT LEAST EVERY SIX MONTHS AND AFTER EVERY MAJOR STORM. INSPECTIONS CONDUCTED BEFORE AND AFTER A STORM EVENT WILL HELP DETERMINE IF THE INFILTRATION AREAS ARE WORKING AS DESIGNED.
 - 2. SILT/SEDIMENT SHALL BE REMOVED FROM THE FILTER BED WHEN THE ACCUMULATION EXCEEDS ONE INCH. WHEN THE FILTERING CAPACITY OF THE FILTER DIMINISHES SUBSTANTIALLY, THE TOP FEW INCHES OF DISCOLORED MATERIAL SHALL BE REMOVED AND SHALL BE REPLACED WITH FRESH MATERIAL.
 - 3. ANY NECESSARY REPAIRS SHOULD BE MADE IMMEDIATELY.
 - 4. TRASH AND OTHER DEBRIS SHOULD BE REMOVED MONTHLY.
 - 5. ALL PLANTINGS SHALL BE PRUNED 1 TO 2 TIMES PER YEAR. ALL CLIPPINGS AND DEAD VEGETATION SHALL BE REMOVED ONCE A YEAR.
 - 6. SEDIMENTS SHOULD BE REMOVED FROM THE SEDIMENTATION BASINS AS NECESSARY, OR WHEN IT ACCUMULATED TO A DEPTH OF MORE THAN 1". ALL SEDIMENTS SHALL BE HANDLED PROPERLY AND DISPOSED IN COMPLIANCE WITH LOCAL, STATE, AND FEDERAL REGULATIONS.

THE OWNER SHALL KEEP A WRITTEN RECORD OF INSPECTION DATES AND FINDINGS, MAINTENANCE OPERATIONS, AND ALL REPAIRS UNTIL THE ROAD IS ACCEPTED BY THE TOWN. AN INSPECTION/MAINTENANCE CHECKLIST SHALL BE USED IN THE SPECIFIED INSPECTIONS. RECORDS OF INSPECTIONS AND MAINTENANCE SHALL BE KEPT FOR AT LEAST THREE YEARS, AND AVAILABLE ON REASONABLE NOTICE FOR INSPECTION BY THE CONSERVATION COMMISSION.

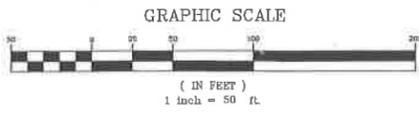
EROSION & SEDIMENT CONTROL NOTES:

1. EROSION AND SEDIMENT CONTROL MEASURES WILL BE INSTALLED PRIOR TO THE START OF CONSTRUCTION. GRAVEL CONSTRUCTION ENTRANCE WILL BE INSTALLED BEFORE CONSTRUCTION TRAFFIC INTO AND OUT OF PROJECT AREA BEGINS. STABILIZATION OF ALL REGRADED AND SOIL STOCKPILE AREAS WILL BE INITIATED AND MAINTAINED DURING ALL PHASES OF CONSTRUCTION.
2. ALL EROSION AND SEDIMENT CONTROL MEASURES WILL BE CONSTRUCTED IN ACCORDANCE WITH THE TOWN OF SEEKONK REGULATIONS. ALL EROSION CONTROL MEASURES ARE TO BE MAINTAINED AND UPGRADED AS REQUIRED TO ACHIEVE PROPER SEDIMENT CONTROL DURING CONSTRUCTION.
3. ADDITIONAL CONTROL MEASURES WILL BE INSTALLED DURING CONSTRUCTION PERIOD, IF DEEMED NECESSARY BY THE ENGINEER OR TOWN AGENCIES.
4. EACH HOUSE LOT SHALL BE REQUIRED TO MAINTAIN EROSION AND SEDIMENT CONTROLS DURING HOUSE CONSTRUCTION. ADDITIONAL MEASURES WILL BE REQUIRED TO PREVENT SEDIMENT DISCHARGE INTO THE STREET, INFILTRATION PONDS AND CATCH BASINS FROM THE INDIVIDUAL DEVELOPMENT OF EACH LOT.
5. SEEDING MIXTURE FOR FINISHED GRASSED AREAS WILL BE AS FOLLOWS:
 - KENTUCKY BLUE GRASS = 45
 - CREeping RED FESCUE = 45
 - PERENNIAL RYE GRASS = 10
 SEED TO APPLIED AT A RATE OF 4 LBS / 1000 S.F., FERTILIZER SHALL BE APPLIED AT A RATE OF 2 LBS / 1000 S.F. PLANTING SEASON SHALL BE APRIL 1 TO OCTOBER 15. AFTER OCTOBER 15 AREAS NOT SEEDED SHALL BE STABILIZED WITH HAY BALE CHECK, FILTER FABRIC OF WOODEN MULCH AS REQUIRED TO CONTROL EROSION.
6. AREAS LEFT BARE BEFORE FINISH GRADING AND SEEDING IS ACHIEVED, SHALL RECEIVE A TEMPORARY SEEDING OF PERENNIAL RYE GRASS APPLIED TO A RATE OF 2 LBS / 1000 S.F. AT A DEPTH OF 1/2". LIMESTONE (EQUIVALENT TO BE 50% CALCIUM PLUS MAGNESIUM OXIDE) SHALL BE APPLIED AS SEEDBED PREPARATION AT A RATE OF 10 LBS / 1000 S.F. WHERE GRASS PREDOMINATES, FERTILIZE ACCORDING TO A SOIL TEST AT A MINIMUM APPLICATION RATE OF 1 LB OF NITROGEN PER 1000 S.F. AREAS TO BE LEFT BARE BEFORE FINISH GRADING AND SEEDING OUTSIDE OF PLANTING SEASONS SHALL RECEIVE AN AIR-DRYED WOOD CHIP MULCH, FREE OF COURSE MATTER, TREATED WITH 12 LBS NITROGEN PER TON, APPLIED AT A RATE OF 185-275 LBS / 1000 S.F.
7. CONTRACTOR SHALL BE ASSIGNED THE RESPONSIBILITY FOR IMPLEMENTING THIS EROSION AND SEDIMENT CONTROL PLAN. THIS RESPONSIBILITY INCLUDES THE INSTALLATION AND MAINTENANCE OF CONTROL MEASURES, INFORMING ALL PARTIES ENGAGED ON THE CONSTRUCTION SITE OF THE REQUIREMENTS AND OBJECTIVES OF THE PLAN, AND NOTIFY THE PROPER TOWN AGENCY OF ANY TRANSFER OF THIS RESPONSIBILITY. THE OWNER SHALL BE RESPONSIBLE FOR CONVEYING A COPY OF THE EROSION AND SEDIMENT CONTROL PLAN IF THE TITLE TO THE LAND IS TRANSFERRED.
8. THE CONTRACTOR SHALL REQUEST THE SEEKONK CONSERVATION COMMISSION AGENT TO INSPECT AND APPROVE THE INSTALLATION OF ALL EROSION CONTROL MEASURES PRIOR TO THE START OF CONSTRUCTION. PERIODIC INSPECTIONS OF EROSION CONTROL MEASURES MAY BE PERFORMED BY THE AGENT. THE CONTRACTOR SHALL REPAIR, UPGRADE OR REPAIR ANY MEASURES THE AGENT MAY FEEL ARE IN NEED OF SUCH.
9. STOCKPILES OF SOIL SHALL BE SURROUNDED BY A SEDIMENT BARRIER. SOIL STOCKPILES TO BE LEFT BARE FOR MORE THAN FIFTEEN (15) DAYS SHALL BE STABILIZED WITH TEMPORARY VEGETATION OR MULCH. IF STOCKPILES ARE TO REMAIN FOR MORE THAN SIXTY (60) DAYS, FILTER FABRIC SHALL BE USED IN PLACE OF HAY BALES. SIDE SLOPES SHALL NOT EXCEED 2 : 1. STOCKPILES SHALL BE LOCATED AT LEAST 100' FROM REGULATED WETLAND RESOURCE AREAS.
10. THE CONTRACTOR SHALL BE RESPONSIBLE TO CONTROL DUST AND WIND EROSION THROUGHOUT THE LIFE OF THIS CONTRACT. DUST CONTROL SHALL INCLUDE BUT NOT LIMITED TO SPRINKLING WATER ON EXPOSED SOILS AND HAIL ROADS. CONTRACTOR SHALL CONTROL DUST TO PREVENT A HAZARD TO TRAFFIC ON ADJACENT ROADWAYS.
11. SEDIMENT SHALL BE REMOVED ONCE THE VOLUME REACHES 1/4 TO 1/2 THE HEIGHT OF THE STRAW WATTLE OR HAY BALE.
12. ALL STOCKPILES SHALL BE SURROUNDED BY SEDIMENT CONTROLS AND SHALL BE LOCATED AT LEAST 100 FEET FROM REGULATED WETLAND RESOURCE AREAS.
13. DISTURBED AREAS REMAINING IDLE FOR MORE THAN 14 DAYS SHALL BE STABILIZED.
14. ALL FACILITIES USED AS TEMPORARY MEASURES SHALL BE CLEANED PRIOR TO BEING PUT INTO FINAL OPERATION.

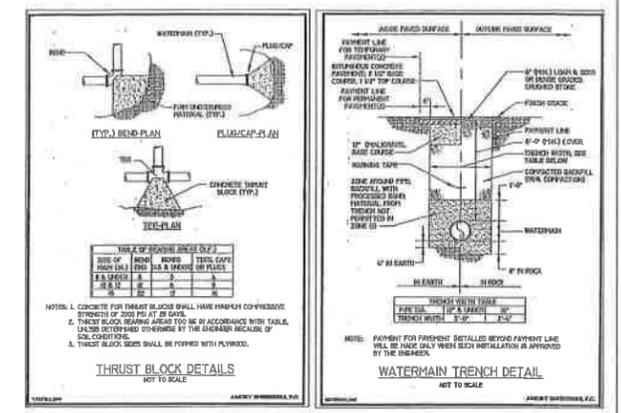
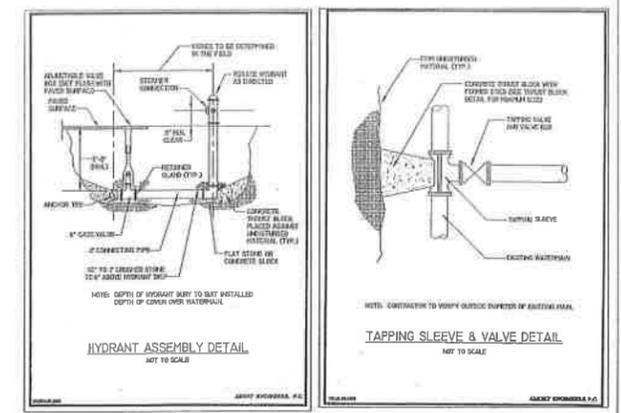
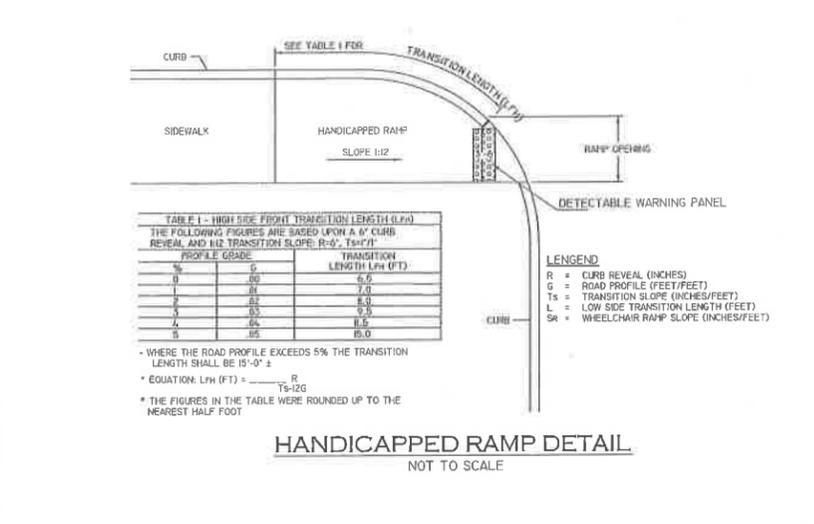
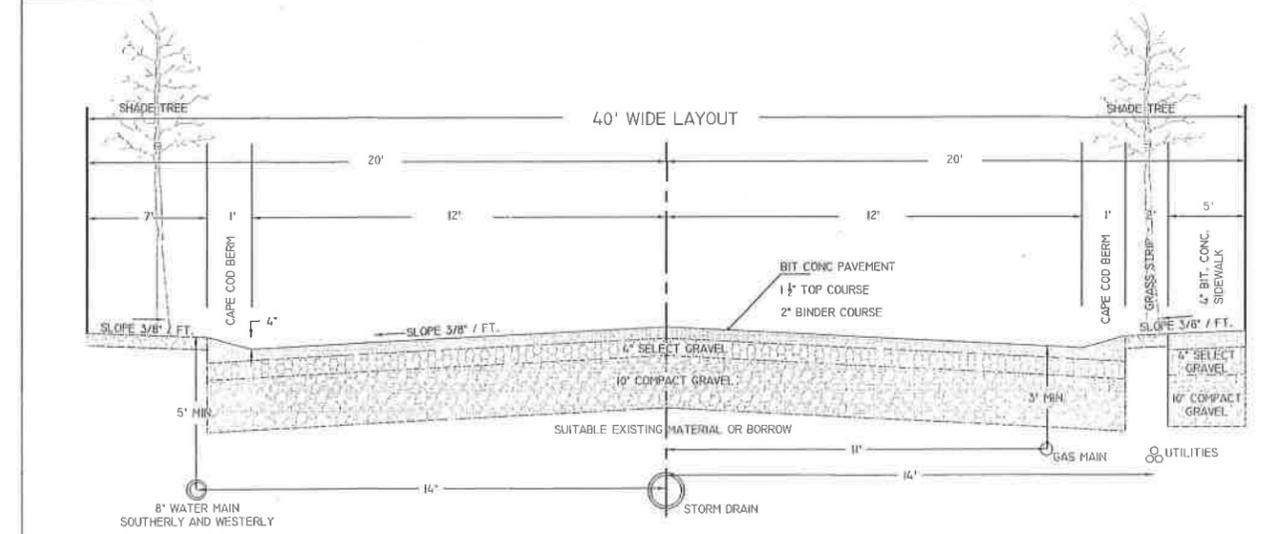
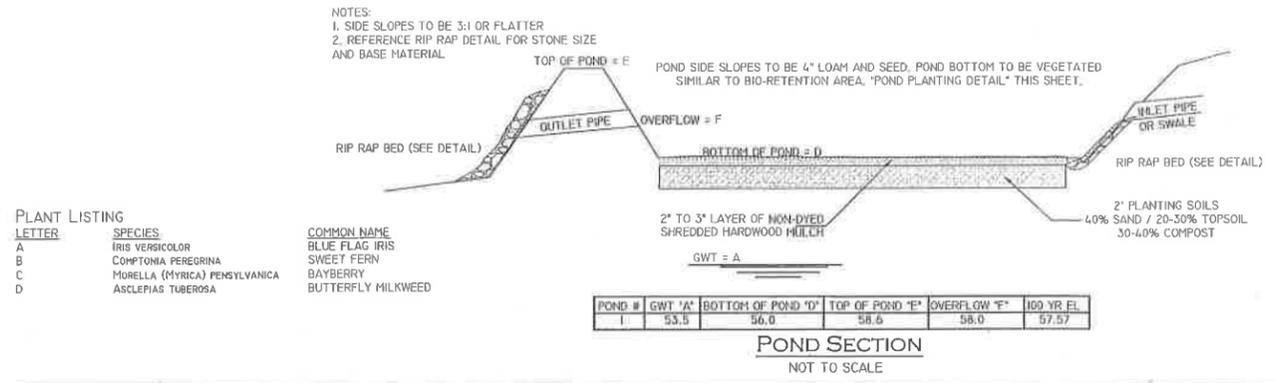
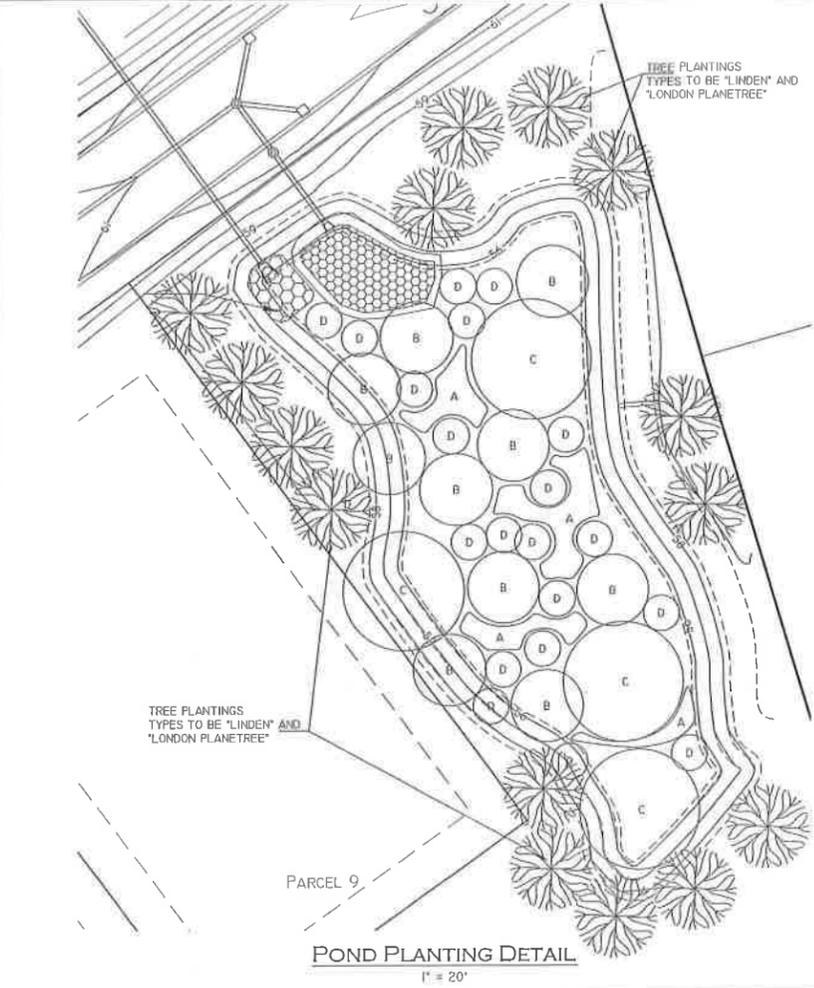
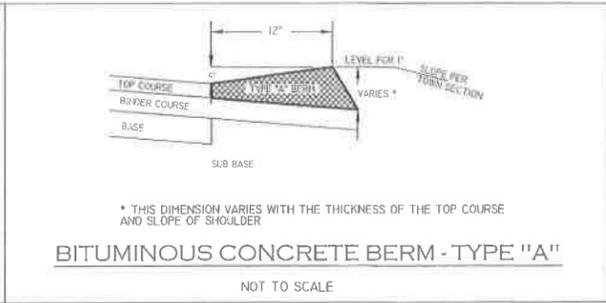
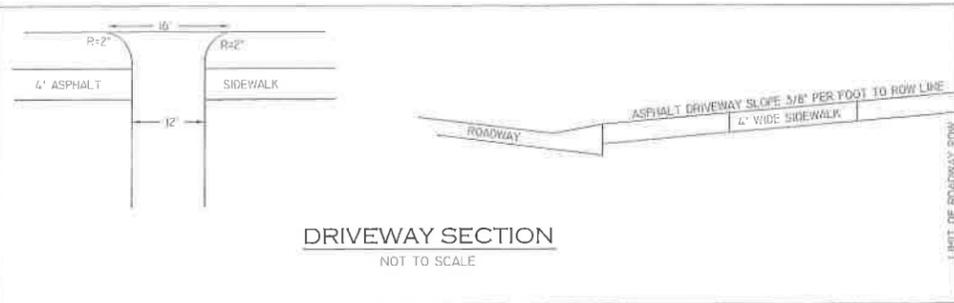
NOTES

- CONSTRUCTION PROCEDURES AND SEQUENCING**
- THE ENGINEER SHALL HAVE THE SOLE RESPONSIBILITY FOR THE DESIGN IMPLEMENTATION. HE SHALL BE RESPONSIBLE FOR ENSURING THAT ALL CONTRACTORS AND SUBCONTRACTORS ARE AWARE OF THE PROVISIONS ON THE PLANS.
- THE CONTRACTOR SHALL ORGANIZE SITE CONSTRUCTION IN A MANNER WHICH WILL ENSURE THE IMMEDIATE STABILIZATION OF SURFACES. PERIMETER CONTROLS EQUAL APPROVED PROJECT LIMITS.
- PRIOR TO ANY CONSTRUCTION ON SITE, THE CONTRACTOR SHALL SETUP PRE-CONSTRUCTION MEETING WITH OWNER, ENGINEER, SEEKONK CON. COM., PLANNING AND DPW PERSONAL.
- PRIOR TO THE COMMENCEMENT OF CONSTRUCTION, A LINE OF STAKED STRAW WATTLE AND OR HAYBALES, WILL BE PLACED AT ALL CONSTRUCTION TOE OF SLOPES IN THE AREA OF ROADWAY, PONDS, LANDSCAPED AREAS, AND ALONG PERIMETER OF PROJECT LIMIT OF DISTURBANCE WHERE INDICATED ON PROJECT PLANS.
- RESERVE EROSION CONTROL DEVICES SHALL BE STOCKPILED ON SITE IN THE EVENT OF EMERGENCIES AND SHALL BE LOCATED 100' FROM REGULATED WETLAND RESOURCE AREAS.
- THE CONTRACTOR SHALL MAKE ALL NECESSARY PROVISIONS FOR THE PROPER STORAGE AND/OR REMOVAL OF DEBRIS ON SITE TO AVOID UNNECESSARY ACCUMULATION ON SITE.
- THE INFILTRATION POND SHALL BE CONSTRUCTED PRIOR TO COMMENCEMENT OF EARTHWORK ACTIVITIES. THE POND CAN BE UTILIZED FOR DE-WATERING, IF POND IS USED TO DEWATER, DISCHARGE PIPES MUST ENTER INTO THE SEDIMENT FOREBAY PRIOR TO ENTERING POND.
- DRAINAGE STRUCTURES SHALL BE CONSTRUCTED FROM DOWNSTREAM UP AND CONSTRUCTION SHALL INCLUDE THE PLACEMENT OF STONE AT THE FLARED PIPE ENDS AND OUTLET STRUCTURE INLETS AND OUTLETS AS SHOWN ON PROJECT PLANS.
- IN STREAM CONTROLS SUCH AS HAYBALE CHECK DAMS SHALL BE ESTABLISHED PRIOR TO CONSTRUCTION.
- TO PROTECT THE INFILTRATION SURFACES (BENEATH AND ADJACENT TO THE RECHARGE SYSTEMS) FROM DEGRADATION BY CONSTRUCTION ACTIVITIES INCLUDE:
1. PROVIDE DEEP ROTOTILLING OF VAIN FLOOR IMMEDIATELY PRIOR TO SEEDING WITH NO SUBSEQUENT TRAFFICKING ON SURFACE.
 2. PREVENTION OF CONTAMINATION OF THE EXPOSED SUBGRADE BY CONSTRUCTION VEHICLES.
 3. PREVENTION OF EXCESSIVE COMPACTION BY CONSTRUCTION VEHICLES.

4. PREVENTION OF THE DISCHARGE OF WATER FROM CONSTRUCTION DEWATERING ACTIVITIES INTO THESE FACILITIES.
 5. PREVENTION OF DISCHARGE OF STORMWATER INTO THESE FACILITIES UNTIL THE CONTRIBUTING AREAS ARE STABILIZED, UNLESS SPECIFIC MEASURES ARE PROVIDED FOR PROTECTING AND RESTORING THE INFILTRATION SURFACE.
- CONSTRUCTION INSPECTION**
- THE ENGINEER SHALL BE CALLED ON SITE DURING THE CONSTRUCTION OF THE INFILTRATION BASIN.
- THE ENGINEER SHALL BE ON SITE DURING THE CONSTRUCTION AND LAYOUT OF ALL OUTLET STRUCTURES.
- THE ENGINEER SHALL PERFORM FREQUENT INSPECTION OF THE STORMWATER SYSTEM DURING CONSTRUCTION, WITH CLEANING AND MAINTENANCE AS WARRANTED, DURING ACTIVE CONSTRUCTION PERIODS, WEEKLY INSPECTION IS REQUIRED.
- IF CONSTRUCTION IS SUSPENDED (E.G., OVER THE WINTER), THEN MONTHLY INSPECTIONS ARE REQUIRED. IN ADDITION, THE SYSTEM SHOULD BE CHECKED AFTER ANY SIGNIFICANT RAINFALL, TO INSURE IT IS FUNCTIONING CORRECTLY AND TO MONITOR SEDIMENT ACCUMULATION FROM THE DISTURBED AREAS OF THE SITE.
- CLEARING**
- CONSIDERATION SHALL BE GIVEN TO PRESERVING SPECIMEN TREES. THE ENGINEER SHALL BE CONTACTED TO REVIEW DESIGN IMPACTS AND APPROVE METHOD OF TREE PRESERVATION.
- BRUSH AND BRANCHES SHALL BE CHIPPED TO BE UTILIZED FOR WOOD MULCH WHERE FEASIBLE.
- GRUBBING AND STRIPPING**
- SUITABLE TOPSOIL SHALL BE STRIPPED FROM THE AREAS TO BE GRADED AND STOCKPILED FOR SUBSEQUENT USE AND/OR FOR LANDSCAPE PURPOSES.
- ROUGH GRADING**
- DURING GRADING, THE POTENTIAL FOR EROSION IS HIGH. DURING GRADING OPERATIONS, DISTURBED SLOPES WILL BE MULCHED AND VEGETATION ESTABLISHED TO PREVENT SEDIMENT EROSION TO THE SATISFACTION OF THE ENGINEER.
- MATERIAL VOLUME ESTIMATES**
- LOAM WILL BE STRIPPED AND STOCKPILED ON SITE
 ROAD GRAVEL = 625 YARDS ±
 PEASTONE = 25 YARDS ±
 SAND (UTILITY BEDDING) = 155 YARDS ±



EROSION CONTROL PLAN			
" PINE HILL ESTATES "			
524 NEWMAN AVENUE SEEKONK, MASSACHUSETTS 02771 ASSESSORS MAP 24 LOTS 73 & 394			
PREPARED FOR: NAJAS REALTY LLC			
111 MILES AVENUE, EAST PROVIDENCE, RI 02914			
JOB #	SCALE:	DRAWN BY:	DATE:
12-002	1" = 50'	SCA	AUGUST 30, 2012
REVISED: Feb. 14, 2013 REVISE TO 9 LOTS			
		PROFESSIONAL ENGINEERS AND LAND SURVEYORS INSITE PROFESSIONAL COMPLEX, SUITE 1 1539 FALL RIVER AVENUE SEEKONK, MA 02771 PHONE: (508) 336-4500 FAX: (508) 336-4559	
		SHEET 7 OF 11	



SEEKONK WATER DEPARTMENT DETAILS
NOT TO SCALE

NOTES
 1. ASPHALT TO BE CLASS I, BITUMINOUS CONCRETE PAVEMENT, TYPE I-1
 2. GRAVEL SUB-BASE CONFORMING TO MDWP SPECIFICATION M1.03.0 TYPE "B", MAXIMUM STONE SIZE 3". SHALL BE INSTALLED IN 6" MAXIMUM LIFTS, COMPACTED TO 95% MAX DRY DENSITY IN ACCORDANCE WITH AASHTO TEST DESIGNATION T99
 3. SIDESLOPES OUTSIDE LAYOUT TO BE 3:1 IN BOTH CUT & FILL SECTIONS
 4. SHADE TREES TO BE PROVIDED PER SECTION 8.12 OF THE SEEKONK SUBDIVISION CONTROL LAW. TREE PLANTING TO BE AT 40' INTERVALS ALONG BOTH SIDES AND STAGGERED OFF PAVEMENT
 5. TREE TYPES TO BE "LINDEN" AND "LONDON PLANETREE"

DETAIL SHEET

"PINE HILL ESTATES"
 524 NEWMAN AVENUE SEEKONK, MASSACHUSETTS 02771
 ASSESSORS MAP 24 LOTS 73 & 394

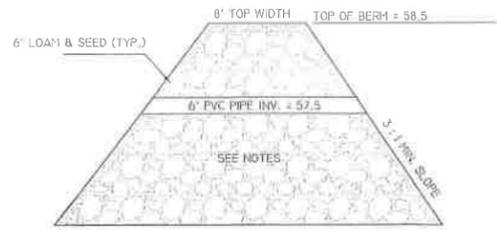
PREPARED FOR: NAJAS REALTY LLC
 111 MILES AVENUE, EAST PROVIDENCE, RI 02914

JOB # 12-002 SCALE: NTS DRAWN BY: SCA DATE: AUGUST 30, 2012

REVISED: FEB. 14, 2013 REVISE TO 9 LOTS

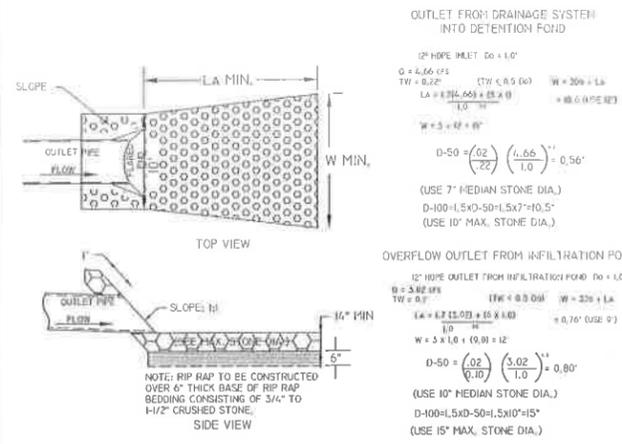
PROFESSIONAL ENGINEERS AND LAND SURVEYORS
 INSITE Engineering Services, LLC
 1539 FALL RIVER AVENUE
 SEEKONK, MA 02771
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SHEET 8 OF 11

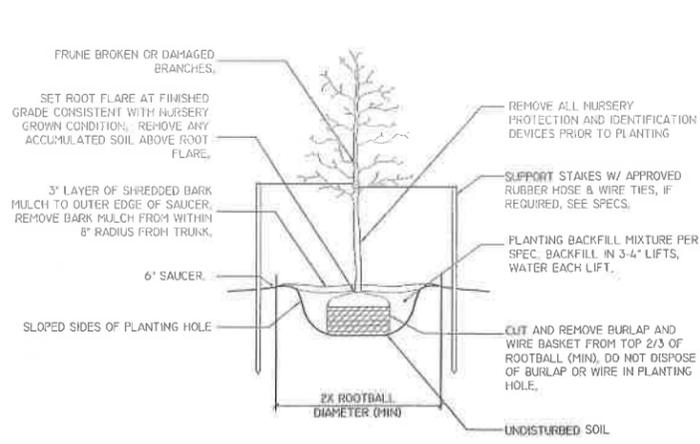


- NOTES**
1. FREE OF LARGE ROCKS, ROOTS, LIMBS AND OTHER DELETERIOUS MATERIALS WHICH WOULD ADVERSELY AFFECT THE DESIGN INTEGRITY OF THE LINER
 2. CLASSIFIED UNDER THE UNIFIED SOIL CLASSIFICATION SYSTEM AS CL, CH OR SC
 3. MINIMUM 15% PASSING THE NO. 200 SIEVE
 4. HAVE A PLASTICITY INDEX (PI) GREATER THAN OR EQUAL TO 15
 5. SHALL MEET STATE REGULATIONS FOR DAM SAFETY (302 CMR 10.00)

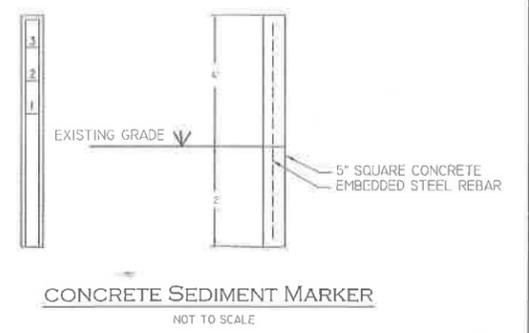
TYPICAL DIKE SECTION DETAIL
NOT TO SCALE



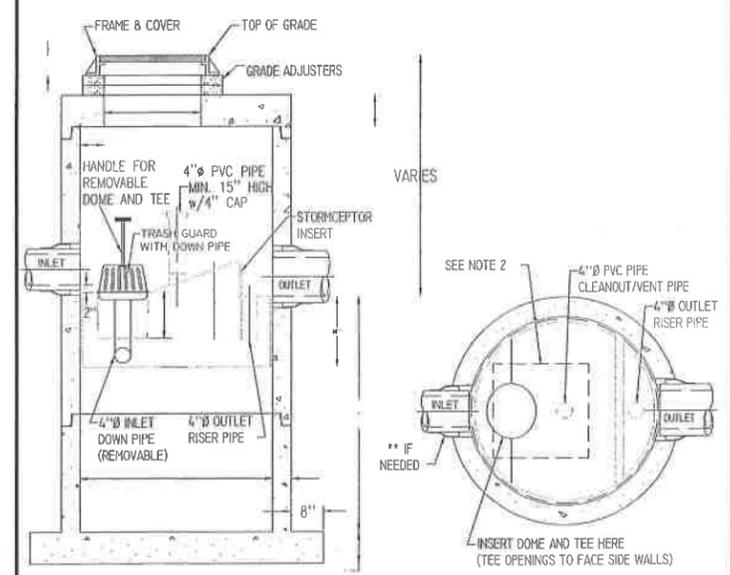
OUTLET RIP RAP APRON DETAIL
NOT TO SCALE



TREE PLANTING DETAIL
NOT TO SCALE

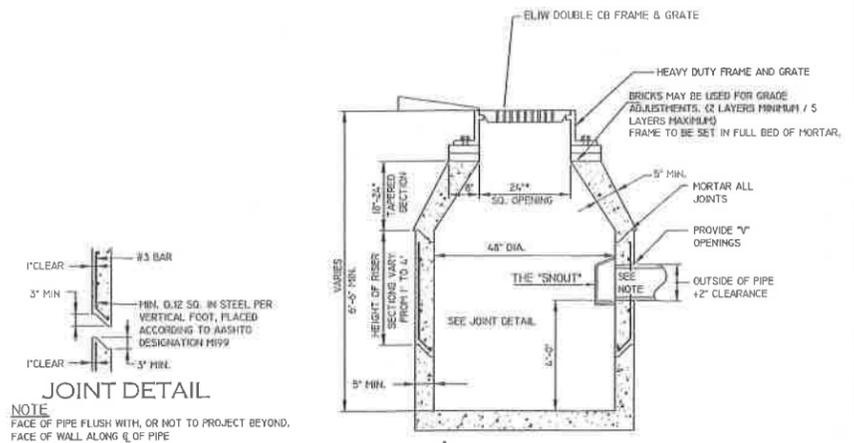
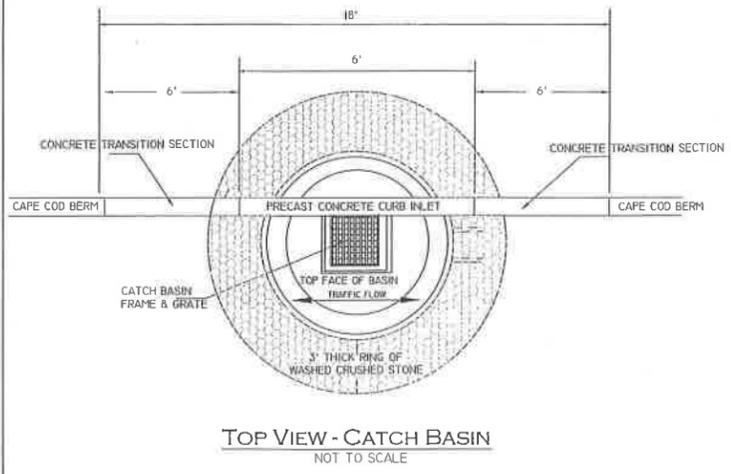


	Hydro Conduit	DR. BY: N. BALDWIN
	STC 450i Precast Concrete Stormceptor (450 US Gallon Capacity)	CK. BY:
	PROJECT:	DATE: MARCH 20, 2001
	LOCATION:	SCALE: N.T.S.
		DWG.#

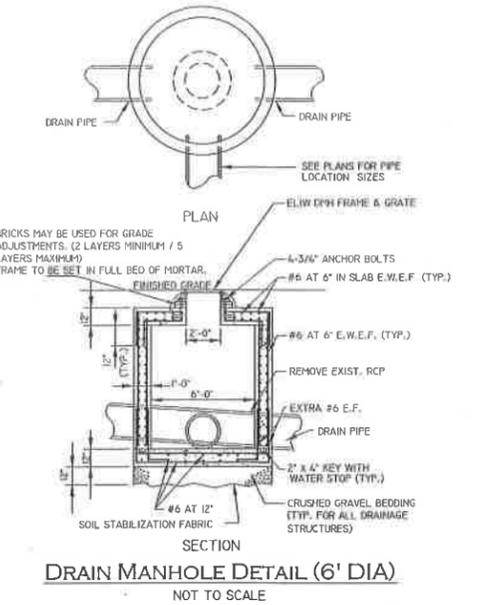


- NOTE :**
1. THE USE OF FLEXIBLE CONNECTIONS IS RECOMMENDED AT THE OUTLET WHERE APPLICABLE.
 2. THE COVER SHOULD BE POSITIONED OVER THE 4"Ø CLEANOUT/VENT PIPE AND THE 4"Ø INLET DOWN PIPE.
 3. THE STORMCEPTOR SYSTEM IS PROTECTED BY ONE OR MORE OFF THE FOLLOWING U.S. PATENTS: #4985148, #5498331, #5725760, #5753115, #5849181.
 4. CONTRACTOR TO PROVIDE CRANE TO SET UNIT (HEAVIEST SECTION WEIGHS 5000 LB)

STORMCEPTOR DETAIL
NOT TO SCALE



CONCRETE CATCH BASIN
NOT TO SCALE



DETAIL SHEET

" PINE HILL ESTATES "
524 NEWMAN AVENUE SEEKONK, MASSACHUSETTS 02771
ASSESSORS MAP 24 LOTS 73 & 394

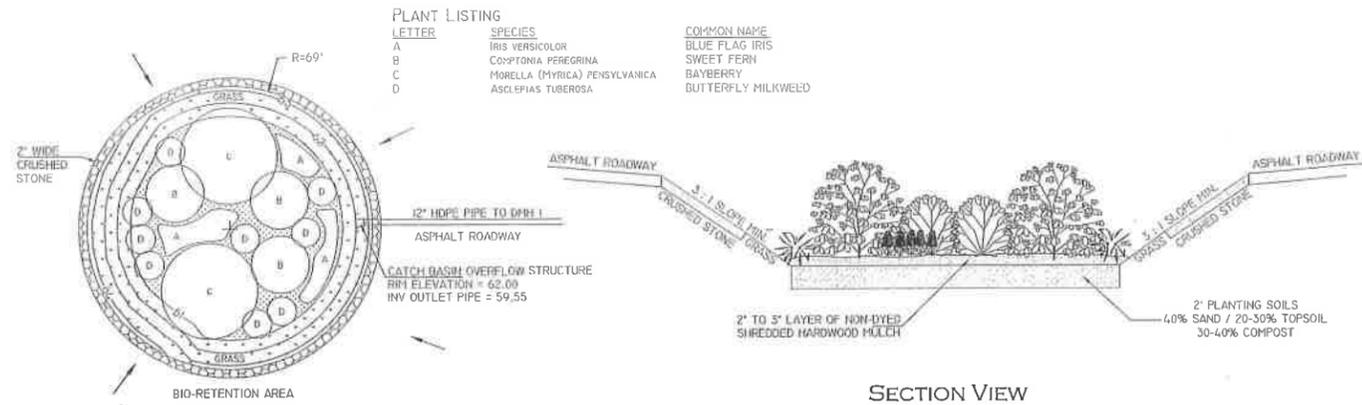
PREPARED FOR: NAJAS REALTY LLC
111 MILES AVENUE, EAST PROVIDENCE, RI 02914

JOB # 12-002 SCALE: NTS DRAWN BY: SCA DATE: AUGUST 30, 2012

REVISED: FEB. 14, 2013 REVISE TO 9 LOTS

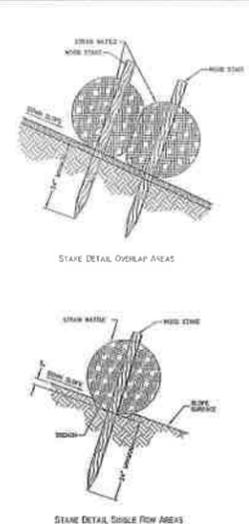
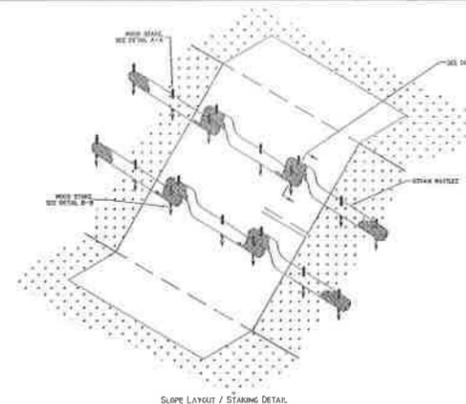
PROFESSIONAL ENGINEERS AND LAND SURVEYORS
INSITE
Engineering Services, LLC
1559 FALL RIVER AVENUE
SEEKONK, MA 02771
PHONE: (508) 536-4500
FAX: (508) 336-4558

SHEET 9 OF 11



PLAN VIEW

BIO-RETENTION CONSTRUCTION & PLANTING DETAIL
 NOT TO SCALE



STRAW WATTLE DETAIL
 NOT TO SCALE

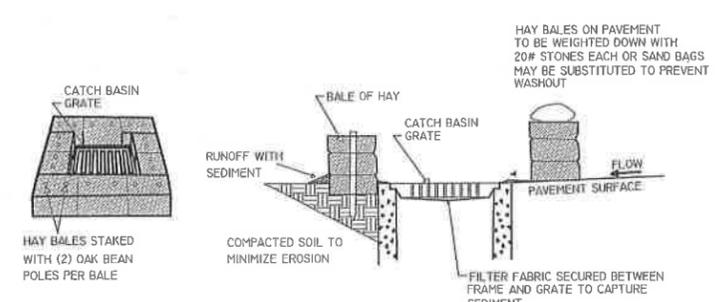
Straw Wattle Installation Guide

1. BEGIN AT THE LOCATION WHERE THE WATTLE IS TO BE INSTALLED BY EXCAVATING 2'-3" DEEP A 9" WIDE TRENCH ALONG THE CONTOUR OF THE SLOPE. EXCAVATED SOIL SHOULD BE PLACED UP SLOPE FROM THE ANCHOR TRENCH.

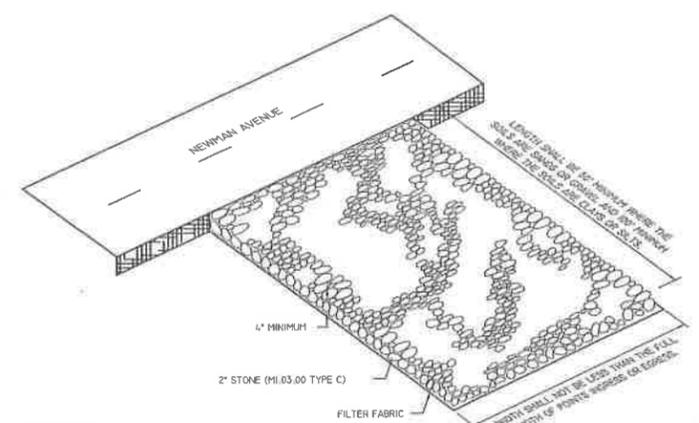
2. PLACE THE WATTLE IN THE TRENCH SO THAT IT CONTOURS TO THE SOIL SURFACE. COMPACT SOIL FROM THE EXCAVATED TRENCH AGAINST THE WATTLE ON THE UPHILL SIDE. ADJACENT WATTLES SHOULD TIGHTLY ABUT.

3. SECURE THE WATTLE WITH 18-24" STAKES EVERY 3'-4' AND WITH A STAKE ON EACH END. STAKES SHOULD BE DRIVEN THROUGH THE MIDDLE OF THE WATTLE LEAVING AT LEAST 2" OF STAKE EXTENDING ABOVE THE WATTLE. STAKES SHOULD BE DRIVEN PERPENDICULAR TO SLOPE FACE.

From American Green Development's Best Management Practices (BMP) for Urban and Suburban Stormwater Management. It is a guide for installation and should not be used as a substitute for professional engineering or design. The information is provided for informational purposes only. The publisher may update this information due to changes in technology, materials, and standards. For more information, please contact: American Green Development, Inc., 14649 Highway 41, Hoop, Evansville, Indiana 47725. Phone: (812) 772-3340. Fax: (812) 772-3340. www.americangreen.com. Rev. 11/2008



CATCH BASIN INLET PROTECTION
 NOT TO SCALE

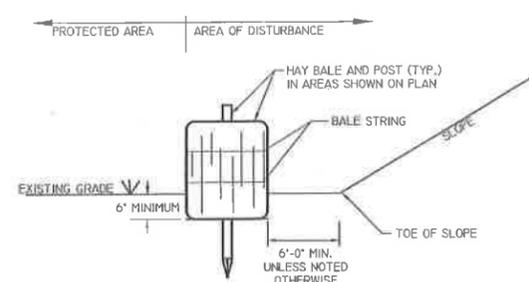


INSTALLATION
 THE AREA OF THE ENTRANCE SHOULD BE CLEARED OF ALL VEGETATION, ROOTS, AND OTHER OBJECTIONABLE MATERIAL. THE STONE SHALL BE PLACED TO THE SPECIFIED DIMENSIONS, AS NOTED ABOVE.

MAINTENANCE
 THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION WHICH WILL PREVENT TRACKING OR FLOWING OF SEDIMENTS ONTO PUBLIC RIGHT-OF-WAYS THIS WILL REQUIRE PERIODIC TOP DRESSING WITH ADDITIONAL STONE, OR ADDITIONAL LENGTH, AS CONDITIONS DEMAND, AND REPAIR, AND / OR CLEANOUT OF ANY MEASURES USED TO TRAP SEDIMENT. ALL SEDIMENT SPILLED, DROPPED, WASHED OR TRACKED ONTO PUBLIC RIGHT-OF-WAYS MUST BE REMOVED IMMEDIATELY.

LOCATION
 SEE OVERALL SHEET FOR LOCATION OF CONSTRUCTION ENTRANCE.

CONSTRUCTION ENTRANCE DETAIL
 NOT TO SCALE



- NOTES:**
- HAY BALES ARE TO BE PLACED WITHIN A 6" MINIMUM TRENCH.
 - THOROUGHLY COMPACT EXCAVATED SOILS BACK INTO THE TRENCH AFTER INSTALLATION OF EROSION CONTROL DEVICES.
 - HAY BALES ARE TO BE TIGHTLY PLACED END TO END ALONG THE LIMITS OF PROTECTION AREA.
 - EACH BALE TO BE SECURELY STAKED INTO THE GROUND WITH (2) 1"x1"x3" OAK BEAN POLES.
 - BALE STRING SHALL BE LAID PARALLEL TO THE GROUND SURFACE.
 - CONTRACTOR IS RESPONSIBLE TO MAINTAIN INTEGRITY OF HAY BALE LINE FOR DURATION OF CONSTRUCTION.
 - EROSION CONTROLS TO REMAIN UNTIL SOIL CONDITIONS STABILIZE.
 - LOOSE HAY TO BE SPREAD ON AREAS OF EXPOSED LOAM & SEED UNTIL GERMINATION AND STABILIZATION OCCURS.

HAY BALE DETAIL
 NOT TO SCALE

DETAIL SHEET

" PINE HILL ESTATES "

524 NEWMAN AVENUE SEEKONK, MASSACHUSETTS 02771
 ASSESSORS MAP 24 LOTS 73 & 394

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SHEET 10 OF 11



Planning Board
100 PECK STREET
SEEKONK, MASSACHUSETTS 02771
1-508-336-2960

To: The Planning Board
From: John P. Hansen Jr., AICP, Town Planner
Date: March 4, 2013

APPROVAL NOT REQUIRED REVIEW (ANR)
Chevrette/Kane – Plat 31, Lot(s) 47-49 & 72-74 – 49 & 59 Perrin Ave.

Summary: The applicant has submitted a request for an Endorsement of a Plan Believed Not to Require Approval.

Findings of Fact:

Existing Conditions

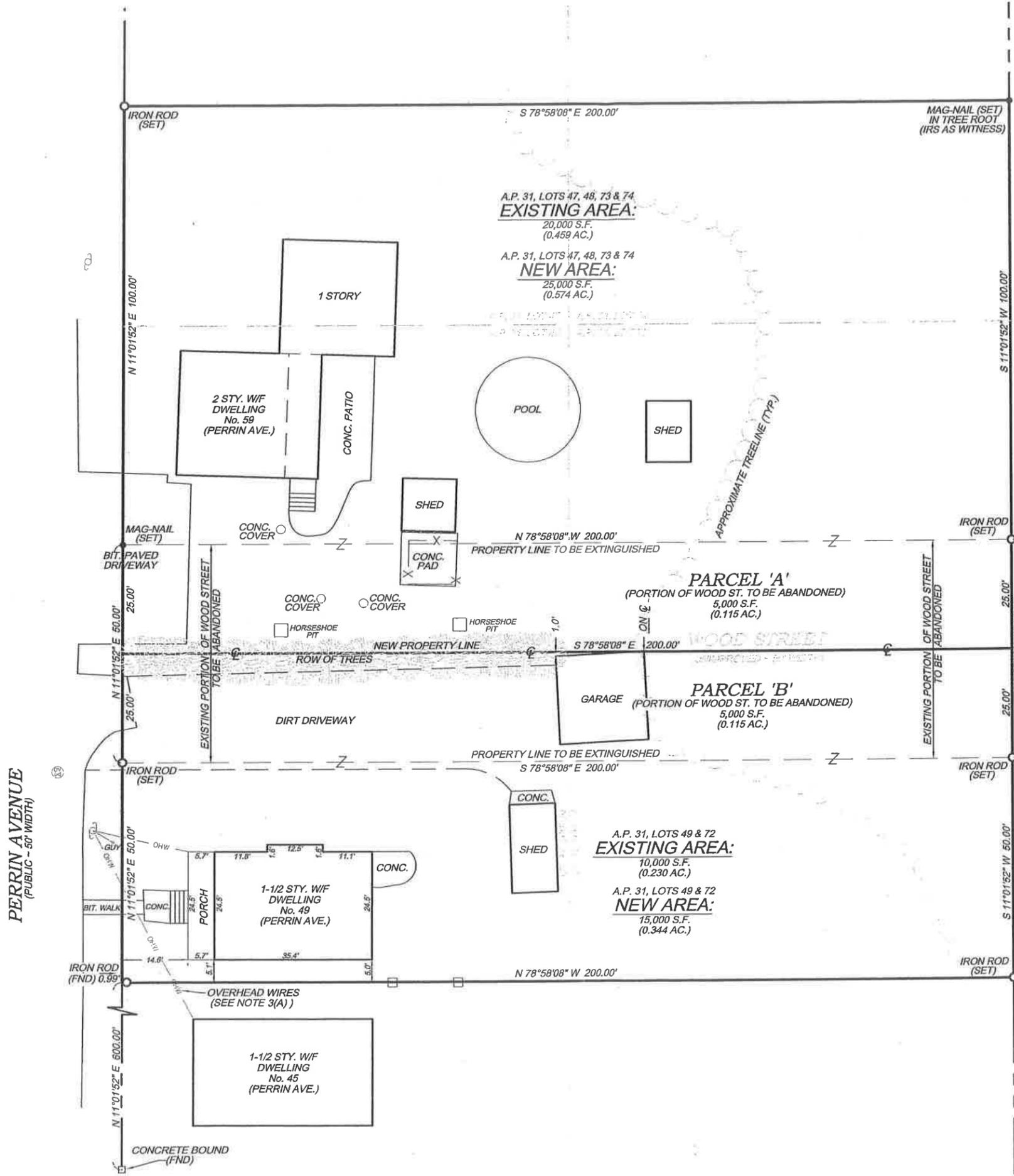
- Single-family dwellings exist on each property, which are each zoned R-1. A paper street (Wood St.) bisects the properties.

Proposed Lot Amendments:

- Abandon the paper street (50' ROW) and give half to each property owner increasing frontage of each lot by 25'.

Recommendation:

Staff recommends approval of this application as it meets the exemption clause within the definition of a subdivision in the Rules and Regulations Governing the Subdivision of Land for changing the size of lots in such a manner so as to not leave any lot affected without the proper frontage.



PLOTTED ENLARGEMENT
OF ORIGINAL SURVEY



3-4-13

5.2 Submission

1.2.1 All Submittals must include a digital copy, on CD or DVD, of said plan in a format compatible with the latest version of AutoCAD. The plan shall comply with Level III of the current version of the MassGIS "Standard for Digital Plan Submission to Municipalities (hereafter "the standard") and shall be filed within 15 business days of the plan being approved by the Planning Board. The vertical datum shall be NAVD88. Upon written request, the Planning Board may waive the requirement for submitting the standard digital file or for complying with Level III of the standard. In place of the Level III requirement, the Planning Board may allow submission of a standard digital file that complies with Level I. Any request for a waiver must include a statement as to why submitting a digital file is not possible or why the requirement should be for Level I of the standard.

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System with units in feet.

5.3 Contents

The Definitive Plan shall be an original drawing conforming to the rules and regulations of the Registry of Deeds. The plan shall be at a scale of one (1) inch equals forty (40) feet. If multiple sheets are used, they shall be accompanied by an index sheet showing the entire subdivision. The Definitive Plan shall contain the following information:

17. Separate plans and profile of every street in the subdivision showing the following data:

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7. Elevations shall be based on the Massachusetts Coordinate System, North American Datum 1983 (NAD83), with units in U.S. Survey Feet. The vertical datum must be North American Datum 1988 (NAVD88). At least two permanent bench marks shall be referred to on the profiles.

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to this datum is available at the Department of Public
Works

7.1 Streets

7.2.1 Location and Horizontal Alignment

7.2.1.5 The minimum centerline radii of curved streets shall be not less than the following:

- Arterial Streets.....800 feet
- Collector Streets.....600 feet
- Minor Street.....150 feet

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7.2.2 Width

7.2.2.2. The minimum width for the roadway (pavement) shall not be less than the following:

	<u>Travel Lanes</u>	<u>Shoulder & Parking</u>	<u>Minimum Total Paved</u>
Arterial	12 ft. – four lane minimum	8 ft. – one on each side	64 feet
Non-Residential Collector	12 ft. – two lane minimum	8 ft. – one on each side	40 feet
Residential Collector	11 ft. – two lane minimum	8 ft. one on each side	38 feet
Local/Minor	12 ft. – with sidewalks	-----	24 feet
	14 ft. without Sidewalks		28 feet
Cul-de-sacs	16 ft. (one-way)	-----	16 feet

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7.2.3 Grade

7.2.3.4 All roadway pavements on minor or collector streets shall have a cross slope from the centerline of the roadway of no less than 1/4" inch per foot except at horizontal curves which shall be superelevated in accordance with the most current design standards outlined by AASHTO in A Policy on Geometric Design of Highways and Streets. When a roadway changes directions on a hill, the pavement shall be sloped so that water will not drain from one side of the road to the other. Roadway pavement may be superelevated in order to provide stormwater flow to a drainage system on one side.

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7.2.4 Dead-end Streets

7.2.4.1 The length of permanent dead-end streets shall not exceed the frontage that would allow for a maximum number of six (6) lots having the minimum frontage permitted under zoning along each side of the street. This length can be exceeded if a permanent dead-end street traverses past lots that are not part of a proposed subdivision or serviced by said street. Where in the opinion of the Board safety and convenience will not be sacrificed or whenever the total length of a dead-end street exceeds one thousand (1,000)

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feet, or in non-residential subdivisions, the Board may require a special double roadway or parkway street.

7.4 Easements

7.4.1 Easements for utilities and drainage facilities across lots, centered on rear or side lot lines, shall be provided where necessary, at least thirty (30) feet wide in all non-Conservation Subdivisions and at least twenty (20) feet wide in all Conservation Subdivisions, and located on land owned by the homeowner's association established for the proposed subdivision. Such easements will be submitted with and be part of the Definitive Plan and recorded as a separate document with the Registry of Deeds.

7.4.2 Access easements to park and conservation land shall be secured for the benefit of the Town and shall be at least twenty (20) feet wide. Signage shall be erected by the applicant indicating such easements at appropriate locations, as determined by the Planning Board, prior to building permits being issued within the proposed subdivision.

7.4.4 An easement of at least twenty (20) feet wide shall be provided at the end of all dead end streets to the depth of the lots for future main tie-ins, except if no developable land exists on the adjacent property, as determined by the Planning Board.

8.2 Fire Protection

Adequate fire protection shall be provided for in accordance with the following requirements:

8.3.1 Fire Alarm Box

At least one (1) fire alarm box shall be required in a subdivision of 4 lots or more. The location of the fire box(es) shall be specified by the Fire Department. The fire alarm system shall be installed in accordance with the specification of the Fire Department and prior to the first residence within the subdivision receiving a certificate of occupancy from the Building Department.

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8.5 Street and Roadway

8.5.3 All roadways shall be brought to a grade of fifteen and a half (15.5) inches below finished roadway and inspected before road construction continues. The foundation shall consist of ten (10) inches of gravel, free from foreign materials, well compacted and approved before paving. This gravel should not have any stones greater than six (6) inches in size. The finished fine grade course will consist of a two (2) inch gravel layer and this gravel shall not have any stones greater than two (2) inches in size. Completion of this work

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shall be done within one year from filing of the performance guarantee. The developer shall notify the Superintendent of Public Works before each phase of work is started.

8.7 Sidewalks

8.7.1 Sidewalks of not less than four (4') feet in width shall be constructed on one side of the street in conformity with specifications of the Town. Said sidewalks shall be required when they will connect to existing sidewalks.

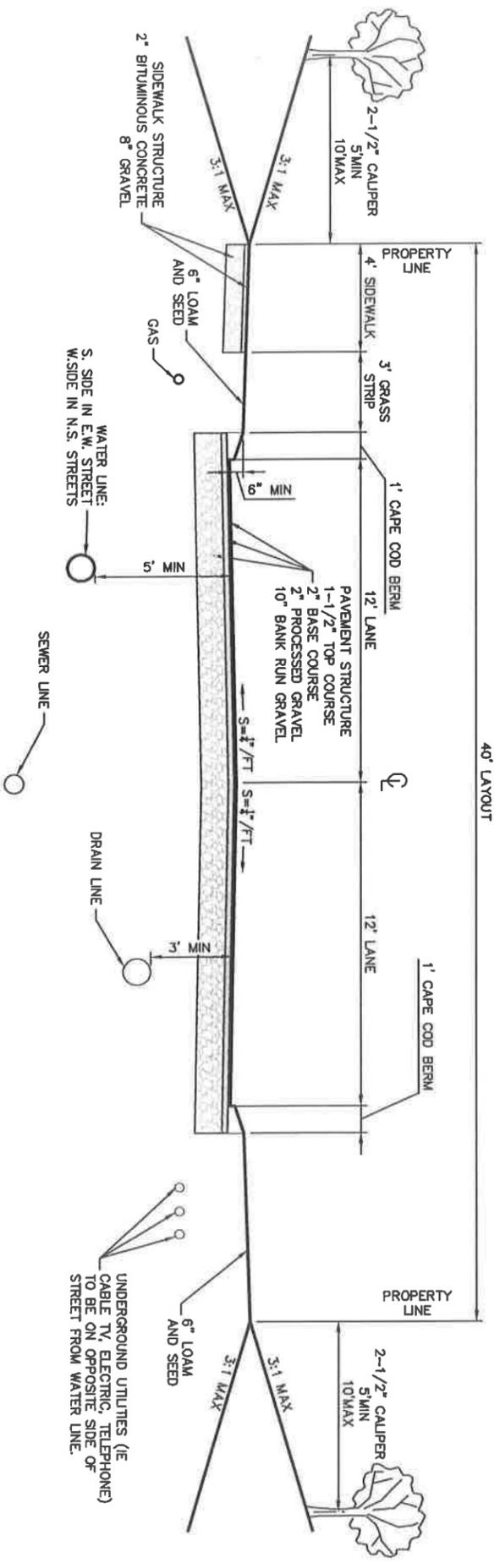
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8.9 Monuments

8.9.1 A letter certifying that permanent monuments have been set and a plan showing the exact location of the monuments shall be submitted by a Massachusetts professional land surveyor. Distances of the monuments (offsets) to at least two fixed items shall also be provided in case said monuments cannot be located in the future (i.e. removal, buried, etc). In addition, an iron rod shall also be placed alongside all monuments to aid in finding said monument with a metal detector in the future.

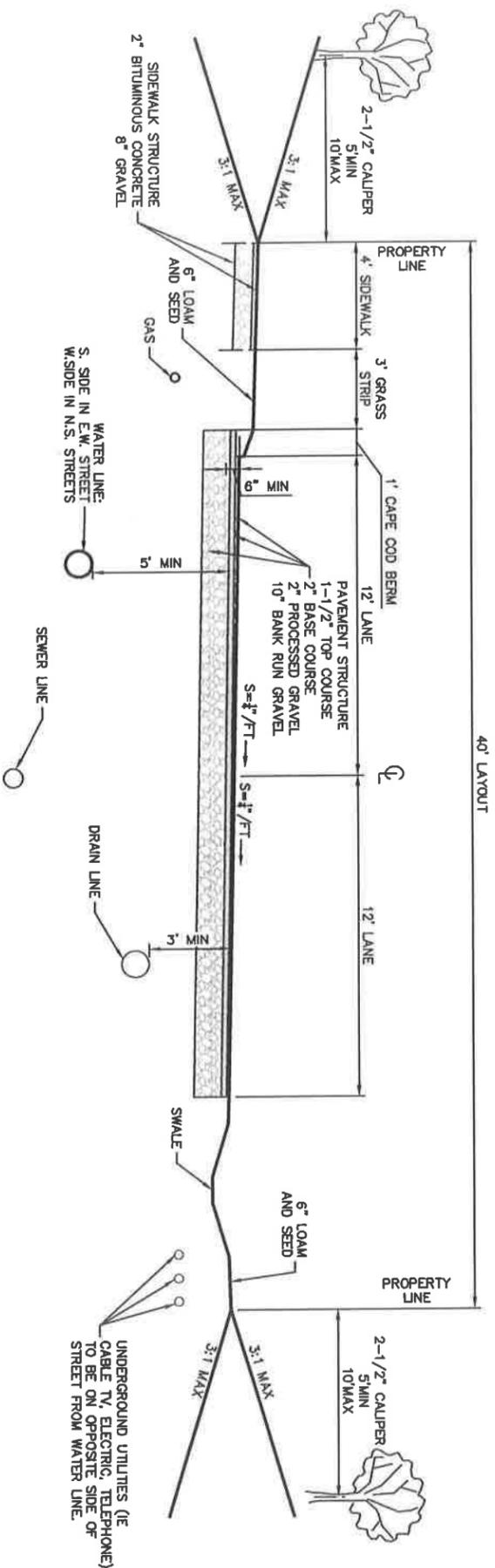
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Typical Cross Section - Minor Street - Crowned
Appendix III

Typical Cross Section - Minor Street - Super Elevated
 Appendix III



SEEKONK PLANNING BOARD
Regular Meeting MINUTES
February 12, 2013

Present: Ch. Abelson, R. Bennett, S. Foulkes, M. Bourque, & L. Dunn
J. Hansen, Town Planner

Absent: R. Horsman & J. Ostendorf (with cause)

6:30 pm Ch. Abelson called the meeting to order.

Ch. Abelson read the Chairman's Declaration:

As Planning Board Chairman, I hereby declare, under G.L. c.30A, 21(b)(3) and (4), that: the purpose of the scheduled executive session will be to discuss litigation strategy relating to litigation known as Najas Realty, LLC v. Abelson, et al., Land Court 2013 MISC 47603-KFS, which concerns the Pine Hill Estates Subdivision and 10 acres of land located at 524 Newman Avenue; A discussion of litigation strategy in open session could compromise the purpose for executive session; and the Planning Board shall return to open session at the conclusion of executive session.

A motion was made by L. Dunn and seconded by M. Bourque and unanimously

VOTED by roll call vote: Ch. Abelson, M. Bourque, L. Dunn, R. Bennett, & S. Foulkes: that the Planning Board go into executive session, under G.L. c.30A, 21(b)(3), to discuss litigation strategy relating to litigation known as Najas Realty, LLC v. Abelson, et al., Land Court 2013 MISC 47603-KFS, which concerns the Pine Hill Estates Subdivision and 10 acres of land located at 524 Newman Avenue, as the Planning Board's Chairman has declared under that discussion of the litigation strategy in open session could compromise the purpose for executive session and with the Planning Board to return to open session at the conclusion of the executive session.

RETURNED TO OPEN SESSION AT 8:55 pm

Revised Preliminary Plan: Country Brook Estates – 822 Arcade Avenue

Shawn Ainsworth of Insite Engineering summarized the changes in the revised Preliminary Plan from the one previously approved by the Board back on 9/11/12, which consists of adding 4 additional lots. Two of the lots would be deed restricted as affordable and two of the lots would be additional market rate lots. The newly adopted provision in the Conservation Subdivision Design Bylaw allows for affordable housing units amounting to a minimum of 10 percent of the total number of units, rounded up, to be included along with a density bonus equal to the number of affordable units being added.

A motion was made by R. Bennett and seconded by M. Bourque and unanimously

**VOTED: To approve the revised Preliminary Plan for Country Brook Estates
By: Ch. Abelson, R. Bennett, L. Dunn, M. Bourque, & S. Foulkes**

Discussion: Subdivision Rules and Regulations Amendments

J. Hansen summarized two amendments to the Subdivision Rules and Regulations. The first one, in section 7.4.2, as requested by the Board, called for signage to be erected indicating access easements to park and conservation land. The second one, in section 8.3.1, as requested by the Fire Chief, requires fire alarm boxes to be installed prior to the first residence within the subdivision receiving a certificate of occupancy. He further indicated that a public hearing would be held on March 12th on these as well as the amendments discussed at the last meeting.

Approval of Minutes: 1/22/13

A motion was made by R. Bennett and seconded by M Bourque and unanimously

**VOTED: to approve the 1/22/13 Planning Board minutes
By: Ch. Abelson, R. Bennett, L. Dunn, M. Bourque, & S. Foulkes**

A motion was made by R. Bennett and seconded by M Bourque and unanimously

**VOTED: to adjourn at 9:21 pm
By: Ch. Abelson, R. Bennett, L. Dunn, M. Bourque, & S. Foulkes**

Respectfully Submitted by,

Florice Craig