

Agenda

Town of Seekonk, MA Planning Board

9/10/13
7:00 PM
Seekonk Town Hall
BOS Meeting Room

Type of meeting:

Planning Board Regular Meeting, Public Hearing, Executive Session

Agenda topics – More information on each item can be found on our website – www.seekonk-ma.gov under Departments>Planning>Agenda Items

7:00 PM

Public Hearing

Definitive Subdivision: Jacob Hill Estates - Plat 17,
Lot 79 – Off Jacob St and Taunton Ave

Applicant: Palmer River
Development Co., LLC

Site Plan Review: Senior Center – 100 Peck St

Applicant: Town of
Seekonk

Site Plan Review: Longhorn – 100 Highland Ave

Applicant: Raymour &
Flanigan

Partial Surety Release: Orchard Estates

Applicant: Najas Realty

Executive Session under G.L. c.30A, sec 21(a)(3): for
the purpose of discussing litigation strategy relating to
Seekonk Water District v. Seekonk Planning Board,
Bristol Superior Court, C.A. No. BRCV2013-00674
(Pine Hills Estates Subdivision).

Planning Board

Correspondence:

Approval of Minutes: 8/27/13

Adjournment



Planning Board
100 PECK STREET
SEEKONK, MASSACHUSETTS 02771
1-508-336-2960

To: The Planning Board
From: John P. Hansen Jr., AICP, Town Planner
Date: August 30, 2013

DEFINITIVE PLAN REVIEW

Jacob Hill Estates – Plat 17, Lot(s) 79 – Off of Taunton Ave & Jacob St

Summary: The applicant has submitted an Application for Approval of Definitive Plan for a Conservation Subdivision.

Findings of Fact:

Existing Conditions

- Vacant wooded 16.9 acre lot zoned R-2/Mixed Use.

Proposal:

- Create 11 new house lots, all >15K sq. ft., on a ±859' public road ending in a cul-de-sac (Palmer River Rd). The yield plan indicates 9 developable lots are possible. The new incentive zoning provision is to be utilized here, which will designate one lot as affordable and one additional market rate lot will be granted as a density bonus for providing said affordable lot.
- Individual septic systems and public water will service the lots.
- Open space areas will equal 40%, (40% minimum required). Wetland percentage of open space does not exceed wetland percentage of site.
- Road to be 20' wide with no sidewalks to increase distance of disturbance from large trees on property boundary to the north near Jacob St.

Waivers:

- 20' wide road (24' required)
- No sidewalks

Recommendations:

As of the date of this memo, the Board's reviewing engineer has not received a response to their comments regarding the subdivision plan and its drainage calculations. No action should be taken until the reviewing engineer has reviewed and approved any such response. In addition, according to the Health Agent perc tests have not been done on every lot. Again no action should be taken until such time.

When such issues are addressed, as is customary, Staff recommends the following conditions:

1. Appropriate documentation shall be submitted for the establishment of a homeowner's association, drainage easements, and an open space restriction on the open space land, which shall be delineated by a split rail fence. These documents shall be submitted prior to endorsement and recorded along with the subdivision.
2. The provisions of sections 25.10.1 (affordable unit amounts, size & distribution) and 25.10.1.4 (construction schedule) shall be adhered to.
3. Prior to issuance of a building permit for each lot, the lot owner/developer shall submit a lot site plan and supporting information documenting the following:
 - a. The grading of the lot is consistent with the impervious surface coverage and the drainage patterns depicted on the approved Subdivision Plans.
 - b. The development of the individual lots will implement and maintain erosion and sediment control measures during construction as stipulated on the approved Subdivision Plans. The lot plan should illustrate the placement and details of these measures.

DEFINITIVE 11- LOT SUBDIVISION PLAN

JACOB HILL ESTATES

ASSESSORS MAP 17 PORTION OF LOT 79

SEEKONK, MASSACHUSETTS

FOR REGISTRY USE ONLY

— ZONING DATA —

DISTRICT: RESIDENTIAL-2

MINIMUM REQUIREMENTS (CONSERVATION SUBDIVISION)

LOT AREA	15,000 S.F.
LOT FRONTAGE	50 FT
FRONT YARD	20 FT
SIDE YARD	10 FT
REAR YARD	10 FT

OPEN SPACE REQUIREMENTS

40% OF PARCEL AREA REQUIRED
=0.40 x 624,405 S.F.=249,762 S.F. REQUIRED
250,097 S.F. PROVIDED

TOTAL WETLAND % OF ENTIRE SITE
=172,372 S.F./624,405 S.F.=27.6%

WETLAND % OF OPEN SPACE
=69,126 S.F./250,097 S.F.=27.6%

SEEKONK PLANNING BOARD

APPROVAL UNDER THE SUBDIVISION CONTROL LAW
NOT REQUIRED

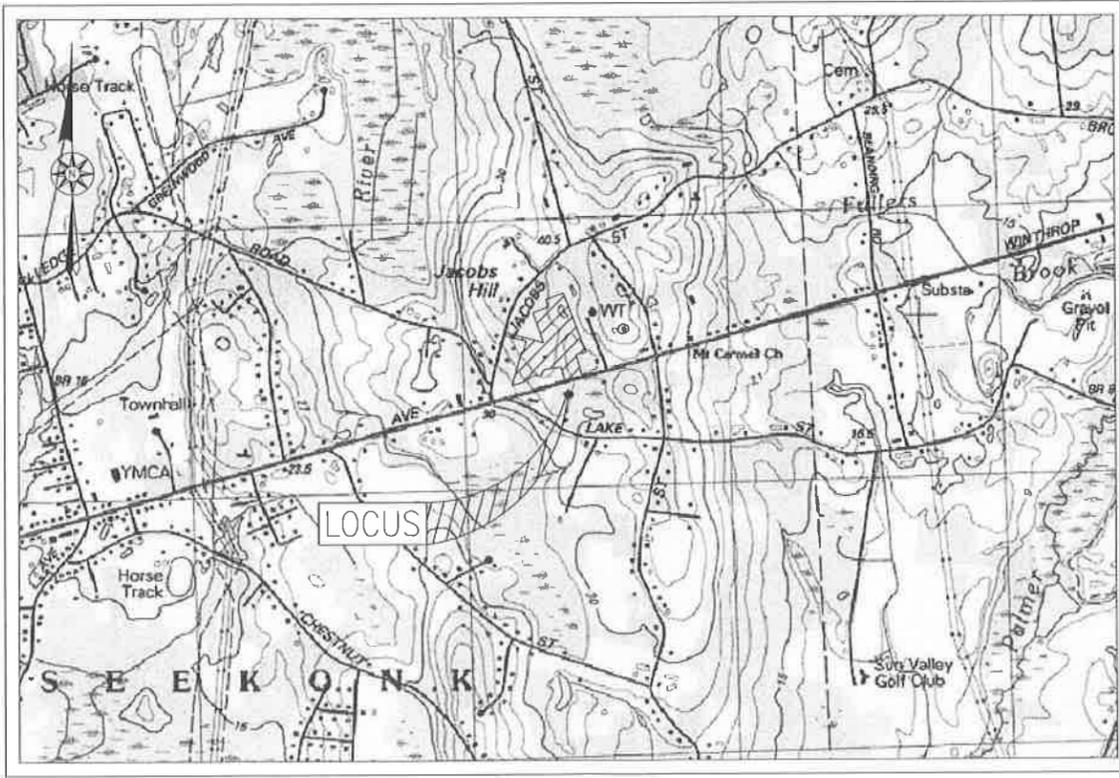
DATE: _____

PLANNING BOARD ENDORSEMENT OF THIS PLAN INDICATES ONLY THAT THE PLAN IS NOT A SUBDIVISION UNDER M.G.L. Ch. 41, Sec. 81L, AND DOES NOT INDICATE THAT THE LOT IS BUILDABLE, OR THAT IT MEETS ZONING, HEALTH, CONSERVATION OR GENERAL BY-LAW REQUIREMENTS.

I HEREBY CERTIFY THAT THIS PLAN HAS BEEN PREPARED IN CONFORMANCE WITH THE RULES AND REGULATIONS OF THE REGISTERS OF DEEDS OF THE COMMONWEALTH OF MASSACHUSETTS

BRIAN J. MURPHY, P.L.S.

DATE _____



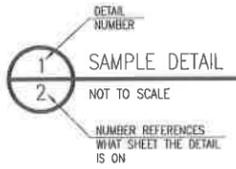
— AREA MAP —

SCALE: 1"=1,000'±

— I N D E X —

SHEET	DESCRIPTION
1	COVER
2-3	EXISTING CONDITIONS
4	LOTING INDEX
5-6	LOTING
7	GRADING & UTILITIES
8	EROSION & SEDIMENT CONTROL
9	PLAN & PROFILE
10	LANDSCAPE
11-12	DETAILS
13	CONSTRUCTION NOTES

EXISTING	DESCRIPTION	PROPOSED
	PROPERTY LINE	
	CONTOUR LINE	
	SPOT ELEVATION	
	EDGE OF PAVEMENT	
	CAPE COD BERM	
	WATER LINE	
	GAS LINE	
	ELECTRIC, TELEPHONE & CABLE	
	OVERHEAD WIRES	
	FENCE	
	HYDRANT	
	WATER GATE	
	GAS GATE	
	UTILITY POLE	
	CATCH BASIN	
	DRAIN MANHOLE	
	SIGN	
	CONCRETE BOUND	
	TEST HOLE	
	WETLAND FLAG	
	VERNAL POOL FLAG	
	SILT FENCE & HAYBALES	



RECORD OWNER:
ASSESSORS MAP 17 LOT 79
PALMER RIVER DEVELOPMENT CO., LLC
1960 FALL RIVER AVENUE
SEEKONK, MA
DEED BOOK 20558 PAGE 278

REVISIONS



THOMPSONFARLAND
PROFESSIONAL ENGINEERS // LAND SURVEYORS

www.ThompsonFarland.com

(MAIN OFFICE) 998 COUNTY STREET, NEW BEDFORD, MA 02740 P.508.717.3479
NEW BEDFORD | TAUNTON | CAMBRIDGE | MARLBOROUGH

DRAWN BY: AEC
DESIGNED BY: CAF
CHECKED BY: CAF/BJM

DEFINITIVE SUBDIVISION PLAN
— JACOB HILL ESTATES —
ASSESSORS MAP 17 PART OF LOT 79
SEEKONK, MASSACHUSETTS

PREPARED FOR:
PALMER RIVER DEVELOPMENT
1960 FALL RIVER AVENUE
SEEKONK, MA 02771

JULY 3, 2013
SCALE: AS NOTED
JOB NO. 12-325
LATEST REVISION:

COVER
SHEET 1 OF 13



THOMPSONFARLAND
PROFESSIONAL ENGINEERS // LAND SURVEYORS
www.ThompsonFarland.com
(MAIN OFFICE) 396 COUNTY STREET, NEW BEDFORD, MA 02740 P.508.717.3479
NEW BEDFORD | TAUNTON | CAMBRIDGE | MARLBOROUGH

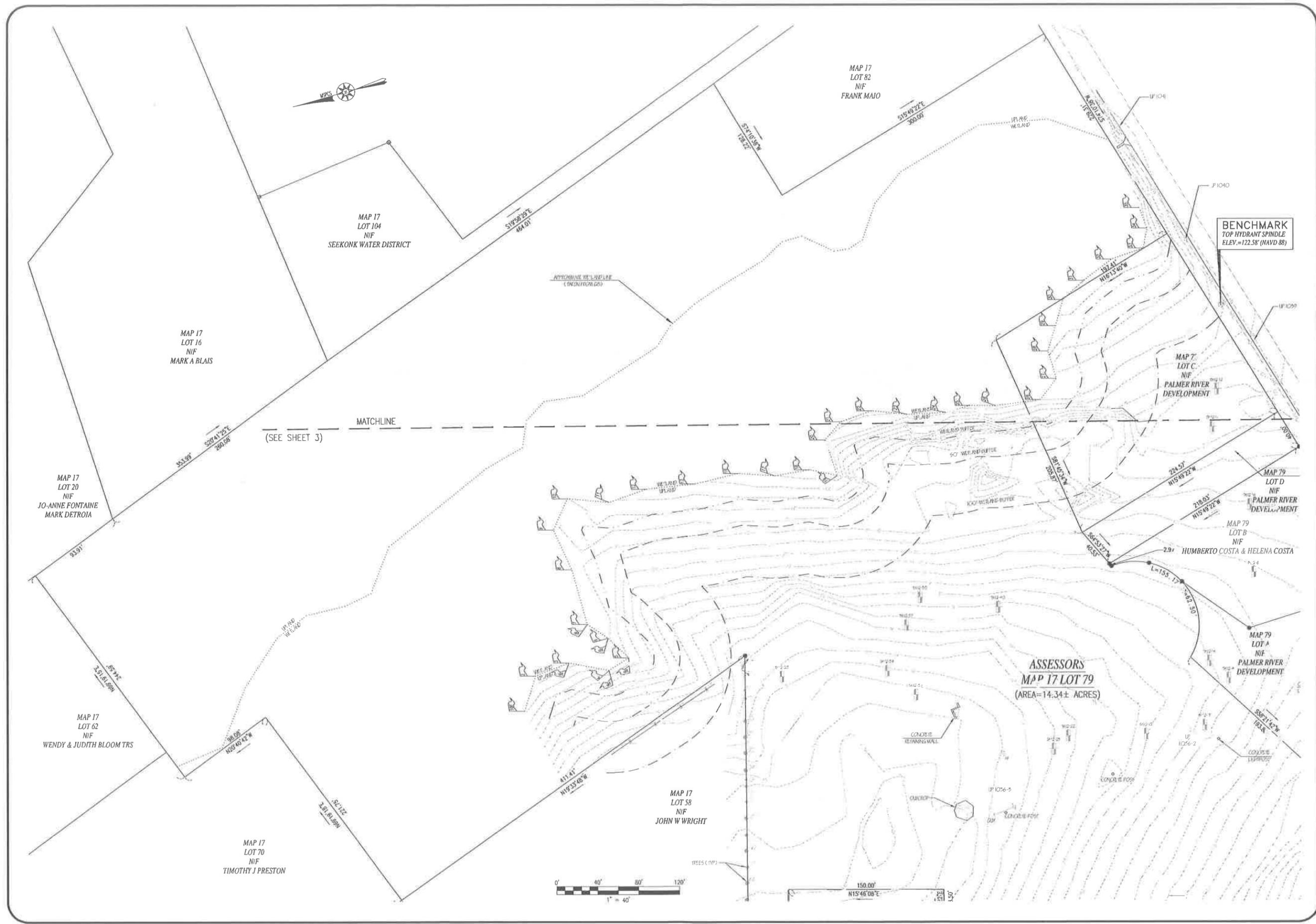


DRAWN BY: AEC
DESIGNED BY: CAF
CHECKED BY: CAF/BJM

DEFINITIVE SUBDIVISION PLAN
JACOB HILL ESTATES
ASSESSORS MAP 17 PART OF LOT 79
SEEKONK, MASSACHUSETTS
PREPARED FOR:
PALMER RIVER DEVELOPMENT
1960 FALL RIVER AVENUE
SEEKONK, MA 02771

JULY 3, 2013
SCALE: 1"=40'
JOB NO. 12-325
LATEST REVISION:

EXISTING CONDITIONS
SHEET 2 OF 13





THOMPSONFARLAND
PROFESSIONAL ENGINEERS // LAND SURVEYORS

www.ThompsonFarland.com
NEW BEDFORD, MA 02740 P. 508.717.8475
NEW BEDFORD | TAUNTON | CAMBRIDGE | MARLBOROUGH

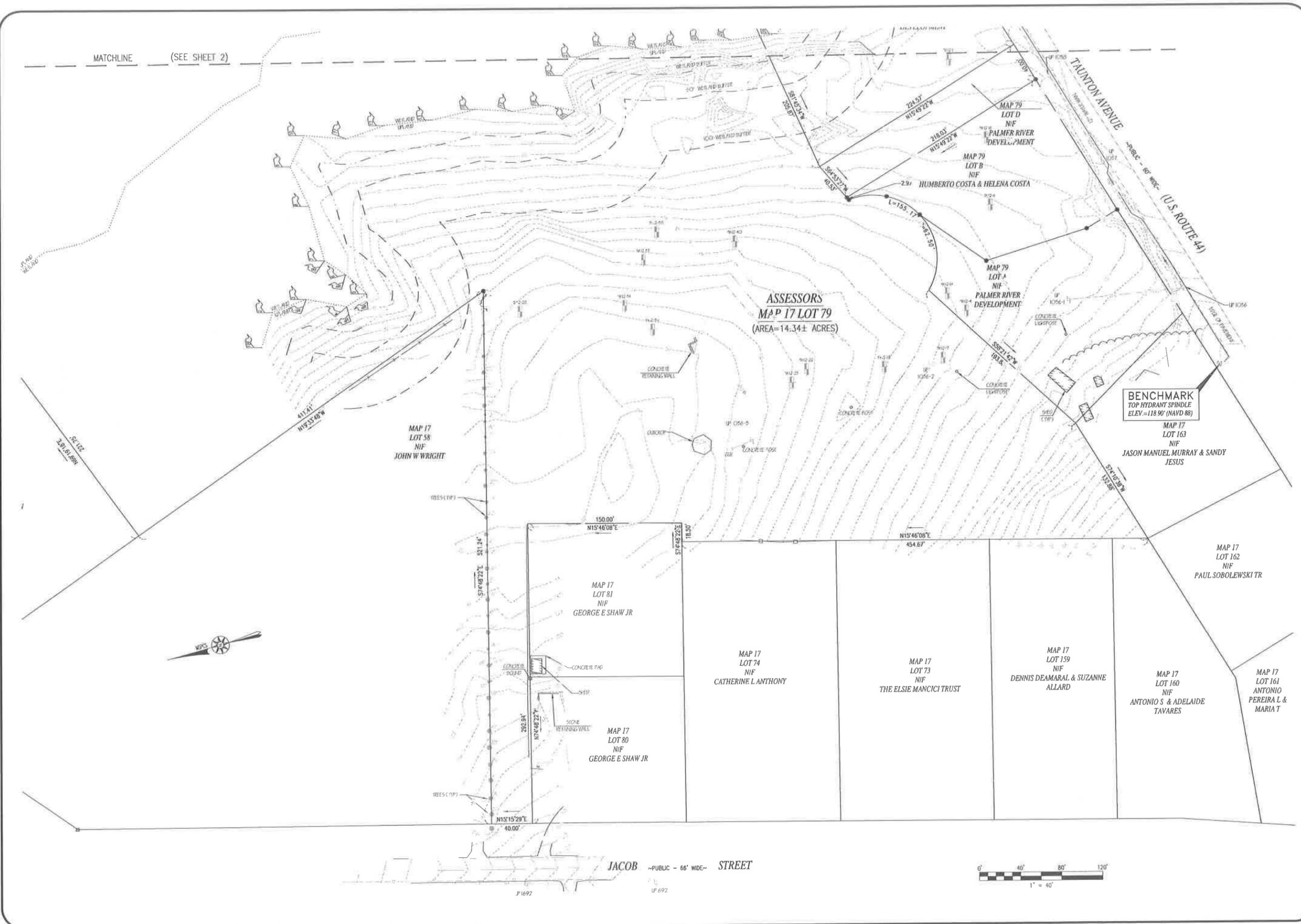
DRAWN BY: AEC
DESIGNED BY: CAF
CHECKED BY: CAF/BJM

DEFINITIVE SUBDIVISION PLAN
JACOB HILL ESTATES
ASSESSORS MAP 17 PART OF LOT 79
SEEKONK, MASSACHUSETTS

PREPARED FOR:
PALMER RIVER DEVELOPMENT
1960 FALL RIVER AVENUE
SEEKONK, MA 02771

JULY 3, 2013
SCALE: 1" = 40'
JOB NO. 12-325
LATEST REVISION:

EXISTING CONDITIONS



MATCHLINE (SEE SHEET 2)

ASSESSORS
MAP 17 LOT 79
(AREA=14.34± ACRES)

BENCHMARK
TOP HYDRANT SPINDLE
ELEV.=118.90' (NAVD 88)



JACOB --PUBLIC - 66' WIDE-- STREET

P 1692

UP 692

SEEKONK PLANNING BOARD

APPROVAL UNDER THE SUBDIVISION CONTROL LAW REQUIRED

DATE: _____

I HEREBY CERTIFY THAT THIS PLAN HAS BEEN PREPARED IN CONFORMANCE WITH THE RULES AND REGULATIONS OF THE REGISTERS OF DEEDS OF THE COMMONWEALTH OF MASSACHUSETTS

BRIAN J. MURPHY, P.L.S.

DATE _____

MAP 17
LOT 15
NIF

ROMAN CATHOLIC BISHOP OF FALL RIVER

MAP 17
LOT 82
NIF
MAIO, FRANK

MAP 17
LOT 104
NIF

SEEKONK WATER DISTRICT

MAP 17
LOT 16
NIF

BLAIS, MARK A

I, _____, CLERK OF THE TOWN OF SEEKONK, MA HEREBY CERTIFY THAT THE NOTICE OF APPROVAL OF THIS PLAN BY THE DRACUT PLANNING BOARD HAS BEEN RECEIVED AND RECORDED AT THIS OFFICE AND NO APPEAL WAS RECEIVED DURING THE TWENTY DAYS NEXT AFTER SUCH RECEIPT AND RECORDING OF SAID NOTICE.

SIGNATURE/TITLE, TOWN CLERK

DATE _____

MAP 17
LOT 20
NIF

FONTAINE, JO-ANNE
DETROIA, MARK

MAP 17
LOT 21
NIF
GOODHEART, MARK
& LISABETH A

MAP 17
LOT 22
NIF
BLOOM, WENDY
& JUDITH TRS

MAP 17
LOT 62
NIF
BLOOM, WENDY & JUDITH TRS

MAP 17
LOT 70
NIF
PRESTON, TIMOTHY J

MAP 17
LOT 58
NIF
WRIGHT, JOHN W

MAP 17
LOT 81
NIF
SHAW, GEORGE E JR

MAP 17
LOT 80
NIF
SHAW, GEORGE E JR

MAP 17
LOT 74
NIF
ANTHONY, CATHERINE L

MAP 17
LOT 73
NIF
THE ELSIE MANCICI TRUST

MAP 17
LOT 159
NIF
DEAMARAL, DENNIS
& ALLARD, SUZANNE

MAP 17
LOT 160
NIF
TAVARES, ANTONIO S
& ADELAIDE

MAP 17
LOT 161
PEREIRA, ANTONIO
L & MARIA T

MAP 17
LOT 162
NIF
SOBOLEWSKI, PAUL TR

MAP 17
LOT 163
NIF
MURRAY, JASON
MANUEL & SANDY
JESUS

MAP 79
LOT A
NIF
PALMER RIVER
DEVELOPMENT

MAP 79
LOT B
NIF
HUMBERTO COSTA &
HELENA COSTA

MAP 79
LOT C
NIF
PALMER RIVER DEVELOPMENT

MAP 79
LOT D
NIF
PALMER RIVER DEVELOPMENT

(SHEET 5)
(SHEET 6)

MATCHLINE

OPEN SPACE

APPROXIMATE WETLAND (GIS)

WETLAND LINE

UTILITY & ACCESS EASEMENT

MAP 79
LOT C
NIF
PALMER RIVER DEVELOPMENT

TAUNTON AVENUE
~PUBLIC - 66' WIDE~
(U.S. ROUTE 44)

PALMER RIVER ROAD
~40' WIDTH~

JACOB ~PUBLIC - 66' WIDE~ STREET



REVISIONS



FOR REGISTRY USE ONLY

THOMPSONFARLAND
PROFESSIONAL ENGINEERS // LAND SURVEYORS



www.ThompsonFarland.com
 (MAIN OFFICE) 398 COUNTY STREET, NEW BEDFORD, MA 02740 P.508.717.3479
 NEW BEDFORD | TAUNTON | CAMBRIDGE | MARLBOROUGH

DRAWN BY: AEC

DESIGNED BY: CAF

CHECKED BY: CAF/BJM

DEFINITIVE SUBDIVISION PLAN

JACOB HILL ESTATES
 ASSESSORS MAP 17 PART OF LOT 79
 SEEKONK, MASSACHUSETTS

PREPARED FOR:
 PALMER RIVER DEVELOPMENT
 1960 FALL RIVER AVENUE
 SEEKONK, MA 02771

JULY 3, 2013

SCALE: 1"=60'

JOB NO. 12-325

LATEST REVISION:

LOTTING INDEX

SHEET 4 OF 13

SEEKONK PLANNING BOARD

APPROVAL UNDER THE SUBDIVISION CONTROL LAW
REQUIRED

DATE: _____

CLERK OF THE TOWN OF SEEKONK, MA
HEREBY CERTIFY THAT THE NOTICE OF APPROVAL OF THIS PLAN BY
THE DRAFT PLANNING BOARD HAS BEEN RECEIVED AND RECORDED
AT THIS OFFICE AND NO APPEAL WAS RECEIVED DURING THE TWENTY
DAYS NEXT AFTER SUCH RECEIPT AND RECORDING OF SAID NOTICE.

SIGNATURE/TITLE, TOWN CLERK
DATE _____

I HEREBY CERTIFY THAT THIS PLAN HAS BEEN PREPARED IN
CONFORMANCE WITH THE RULES AND REGULATIONS OF THE
REGISTERS OF DEEDS OF THE COMMONWEALTH OF MASSACHUSETTS

BRIAN J. MURPHY, P.L.S. DATE _____

MAP 17
LOT 15
NIF
ROMAN CATHOLIC BISHOP OF FALL RIVER

MAP 17
LOT 82
NIF
MAJO, FRANK

MAP 17
LOT 104
NIF
SEEKONK WATER DISTRICT

MAP 79
LOT C
NIF
PALMER RIVER DEVELOPMENT

MAP 17
LOT 16
NIF
BLAIS, MARK A

MAP 17
LOT 20
NIF
FONTAINE, JO-ANNE
DETROIA, MARK

OPEN SPACE
AREA=5.74± ACRES

LOT 1
AREA=1.93± ACRES

LOT 2
AREA=42,928± S.F.

LOT 3
AREA=40,907± S.F.

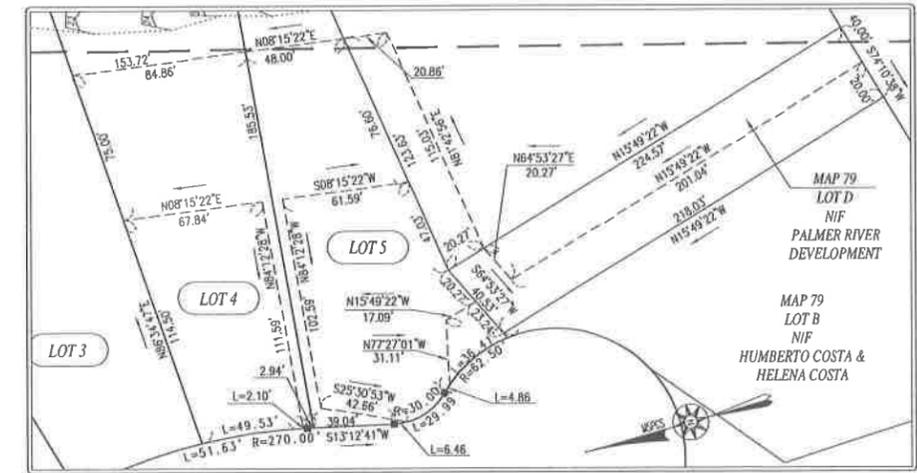
LOT 4
AREA=38,187± S.F.

LOT 5
AREA=15,899± S.F.

MAP 79
LOT B
NIF
HUMBERTO COSTA &
HELENA COSTA

MAP 17
LOT 62
NIF
BLOOM, WENDY & JUDITH TRS

MAP 17
LOT 70
NIF
PRESTON, TIMOTHY J



UTILITY & ACCESS EASEMENTS
SCALE: 1"=40'

FOR REGISTRY USE ONLY

REVISIONS

THOMPSONFARLAND
PROFESSIONAL ENGINEERS // LAND SURVEYORS

www.ThompsonFarland.com
NEW BEDFORD, MA 02740 P.508.771.3479
(MAIN OFFICE) 388 COUNTY STREET, NEW BEDFORD, MA 02740 P.508.771.3479
CAMBRIDGE | MARLBOROUGH

DRAWN BY: AEC
DESIGNED BY: CAF
CHECKED BY: CAF/BJM

DEFINITIVE SUBDIVISION PLAN
JACOB HILL ESTATES
ASSESSORS MAP 17 PART OF LOT 79
SEEKONK, MASSACHUSETTS
PREPARED FOR:
PALMER RIVER DEVELOPMENT
1960 FALL RIVER AVENUE
SEEKONK, MA 02771

JULY 3, 2013
SCALE: 1"=40'
JOB NO. 12-325
LATEST REVISION:

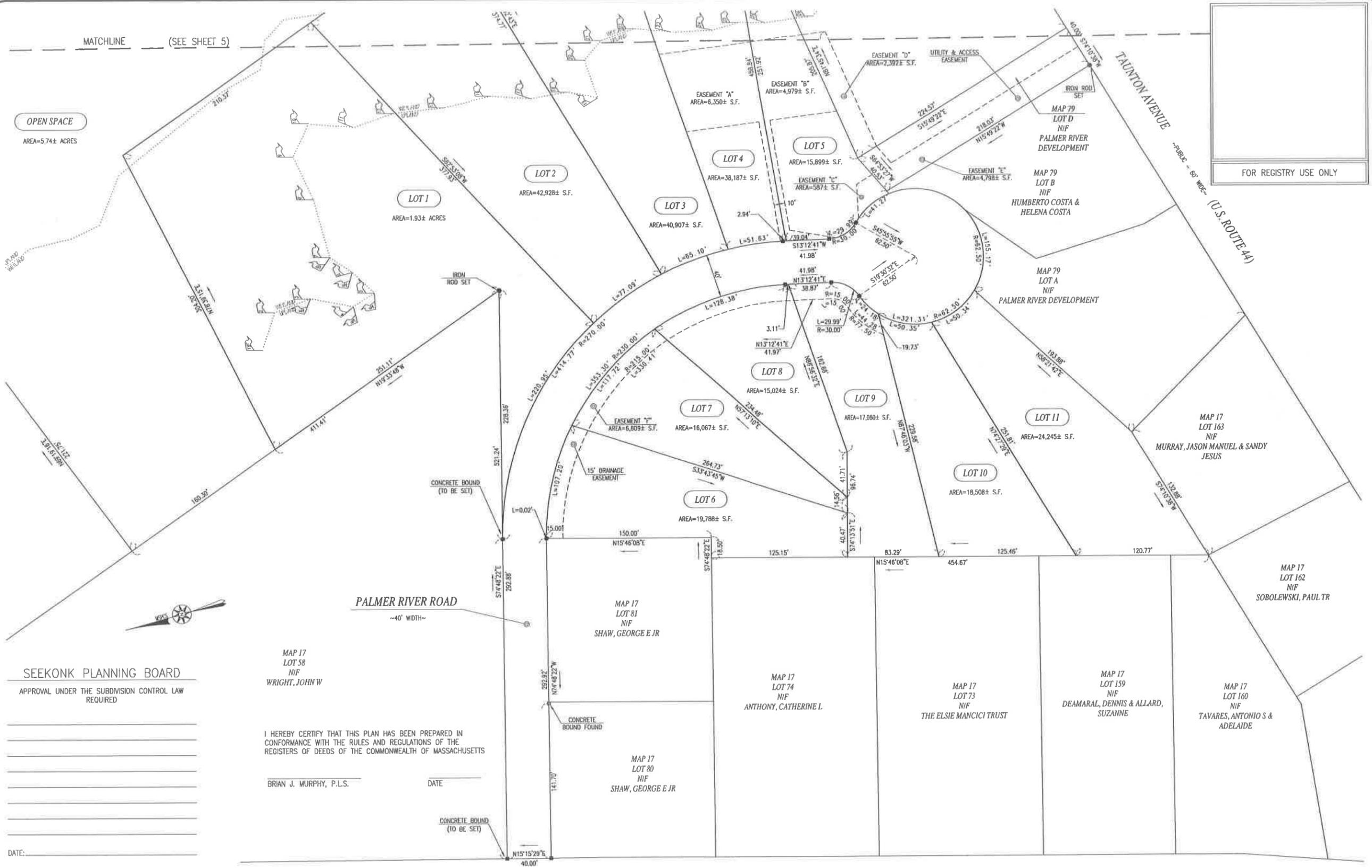


THOMPSONFARLAND
PROFESSIONAL ENGINEERS // LAND SURVEYORS
www.ThompsonFarland.com
(MAIN OFFICE) 396 COUNTY STREET, NEW BEDFORD, MA 02740 P.508.717.3479
NEW BEDFORD | TAUNTON | CAMBRIDGE | MARLBOROUGH

DRAWN BY: AEC
DESIGNED BY: CAF
CHECKED BY: CAF/BJM

DEFINITIVE SUBDIVISION PLAN
JACOB HILL ESTATES
ASSESSORS MAP 17 PART OF LOT 79
SEEKONK, MASSACHUSETTS
PREPARED FOR:
PALMER RIVER DEVELOPMENT
1960 FALL RIVER AVENUE
SEEKONK, MA 02771

JULY 3, 2013
SCALE: 1"=40'
JOB NO. 12-325
LATEST REVISION:



OPEN SPACE
AREA=5.74± ACRES

LOT 1
AREA=1.93± ACRES

LOT 2
AREA=42,928± S.F.

LOT 3
AREA=40,907± S.F.

LOT 4
AREA=38,187± S.F.

LOT 5
AREA=15,899± S.F.

LOT 8
AREA=15,024± S.F.

LOT 7
AREA=16,067± S.F.

LOT 6
AREA=19,788± S.F.

LOT 9
AREA=17,080± S.F.

LOT 10
AREA=18,508± S.F.

LOT 11
AREA=24,245± S.F.

SEEKONK PLANNING BOARD
APPROVAL UNDER THE SUBDIVISION CONTROL LAW
REQUIRED

MAP 17
LOT 58
NIF
WRIGHT, JOHN W

I HEREBY CERTIFY THAT THIS PLAN HAS BEEN PREPARED IN
CONFORMANCE WITH THE RULES AND REGULATIONS OF THE
REGISTERS OF DEEDS OF THE COMMONWEALTH OF MASSACHUSETTS

BRIAN J. MURPHY, P.L.S. DATE

MAP 17
LOT 81
NIF
SHAW, GEORGE E JR

MAP 17
LOT 80
NIF
SHAW, GEORGE E JR

MAP 17
LOT 74
NIF
ANTHONY, CATHERINE L.

MAP 17
LOT 73
NIF
THE ELSIE MANCICI TRUST

MAP 17
LOT 159
NIF
DEAMARAL, DENNIS & ALLARD,
SUZANNE

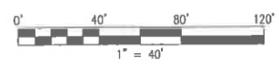
MAP 17
LOT 160
NIF
TAVARES, ANTONIO S &
ADELAIDE

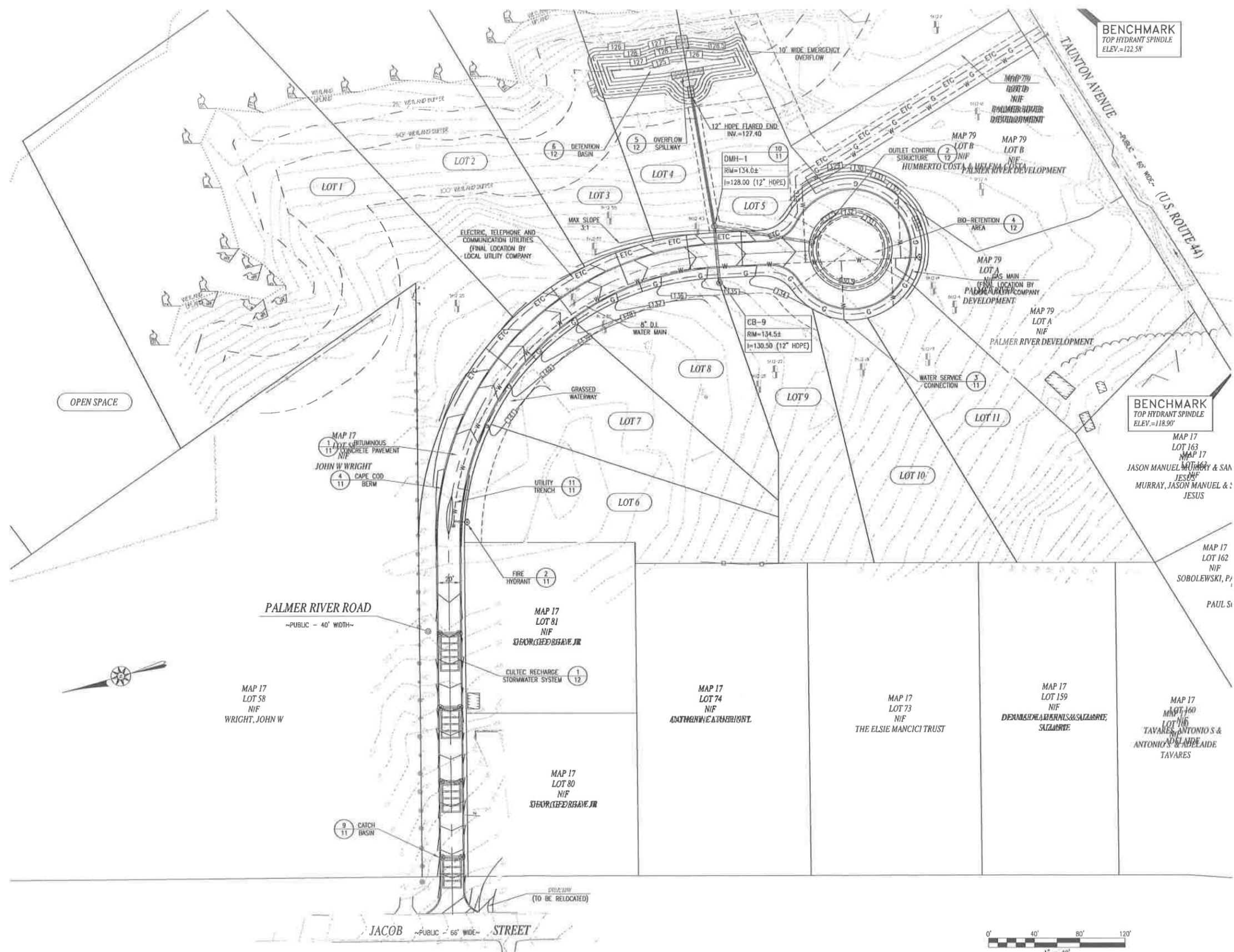
MAP 17
LOT 162
NIF
SOBOLEWSKI, PAUL TR

CLERK OF THE TOWN OF SEEKONK, MA
HEREBY CERTIFY THAT THE NOTICE OF APPROVAL OF THIS PLAN BY
THE DRACUT PLANNING BOARD HAS BEEN RECEIVED AND RECORDED
AT THIS OFFICE AND NO APPEAL WAS RECEIVED DURING THE TWENTY
DAYS NEXT AFTER SUCH RECEIPT AND RECORDING OF SAID NOTICE.

SIGNATURE/TITLE, TOWN CLERK DATE

JACOB STREET ~PUBLIC - 66' WIDE~





BENCHMARK
TOP HYDRANT SPINDLE
ELEV. = 122.58'

BENCHMARK
TOP HYDRANT SPINDLE
ELEV. = 118.90'

REVISIONS

NO.	DATE	DESCRIPTION



THOMPSON FARLAND
PROFESSIONAL ENGINEERS // LAND SURVEYORS

www.ThompsonFarland.com
 (MAIN OFFICE) 398 COUNTY STREET, NEW BEDFORD, MA 02740 P. 508.771.3479
 NEW BEDFORD | TAUNTON | CAMBRIDGE | MARLBOROUGH

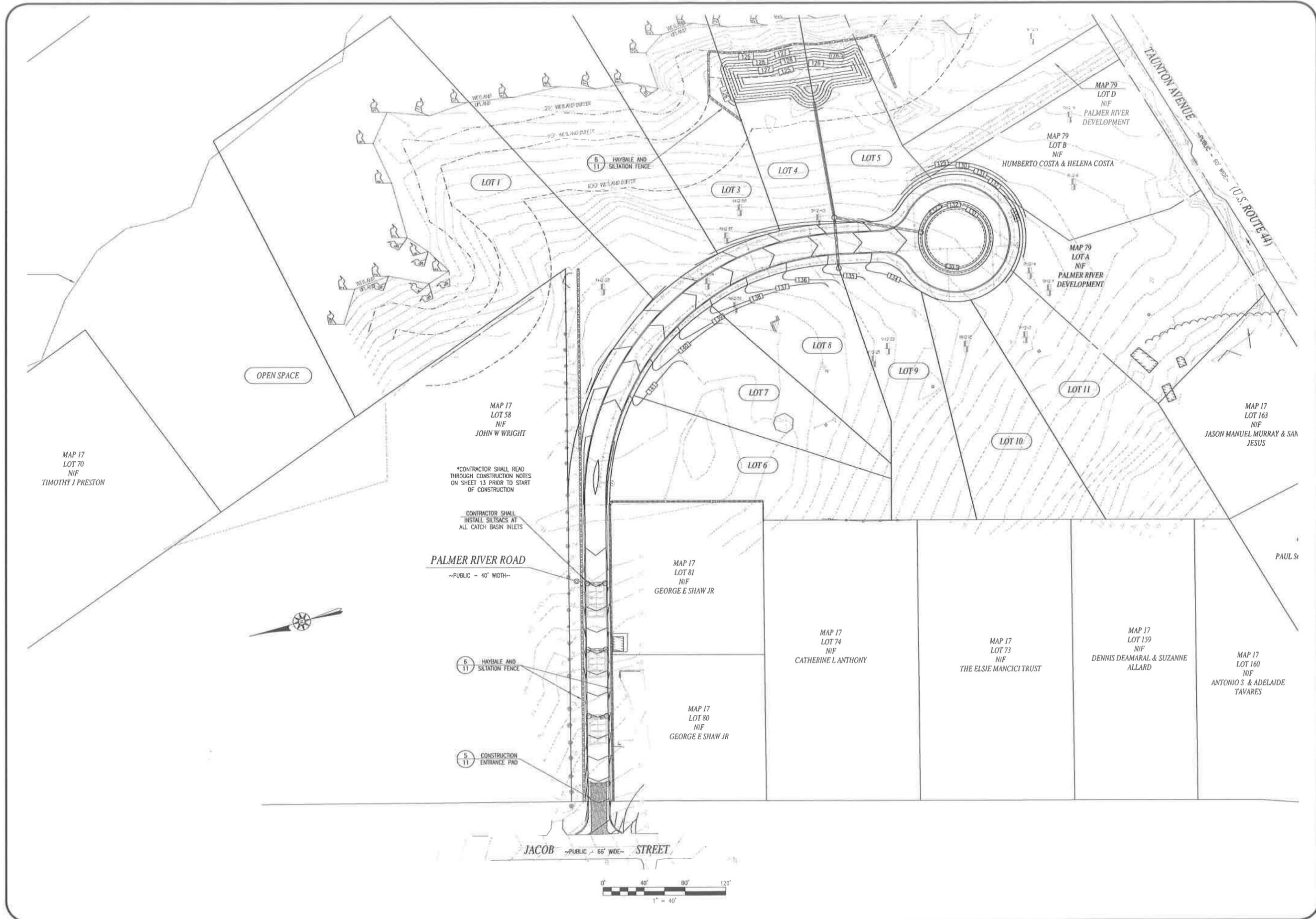
DRAWN BY: AEC
 DESIGNED BY: CAF
 CHECKED BY: CAF/BJM

DEFINITIVE SUBDIVISION PLAN
 JACOB HILL ESTATES
 ASSESSORS MAP 17 PART OF LOT 79
 SEEKONK, MASSACHUSETTS

PREPARED FOR:
 PALMER RIVER DEVELOPMENT
 1960 FALL RIVER AVENUE
 SEEKONK, MA 02771

JULY 3, 2013
 SCALE: 1"=40'
 JOB NO. 12-325
 LATEST REVISION:

GRADING AND UTILITIES
 SHEET 7 OF 13



REVISIONS

REGISTERED PROFESSIONAL SURVEYOR
 CHRISTOPHER ALBERT FARLAND
 No. 47584
 CIVIL
 PROFESSIONAL SEAL

THOMPSONFARLAND
 PROFESSIONAL ENGINEERS // LAND SURVEYORS

www.ThompsonFarland.com
 (MAIN OFFICE) 398 COUNTY STREET, NEW BEDFORD, MA 02740 P.508.717.3479
 NEW BEDFORD | TAUNTON | CAMBRIDGE | WARRENBOROUGH

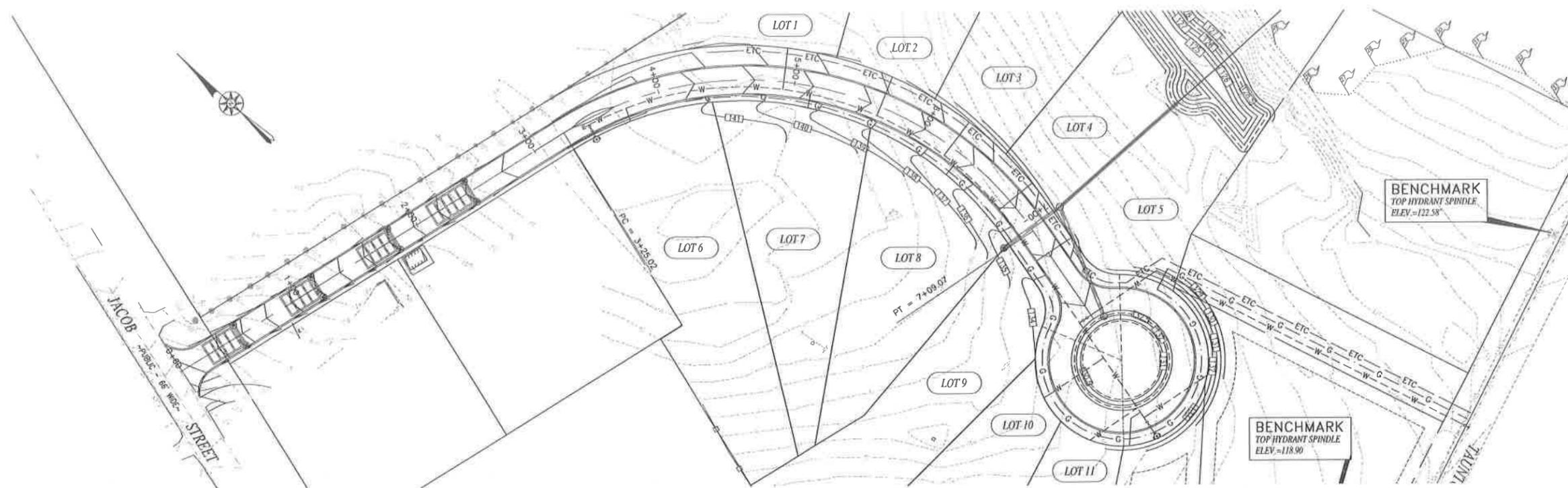
DRAWN BY: AEC
 DESIGNED BY: CAF
 CHECKED BY: CAF/BJM

DEFINITIVE SUBDIVISION PLAN
 JACOB HILL ESTATES
 ASSESSORS MAP 17 PART OF LOT 79
 SEEKONK, MASSACHUSETTS

PREPARED FOR:
 PALMER RIVER DEVELOPMENT
 1960 FALL RIVER AVENUE
 SEEKONK, MA 02771

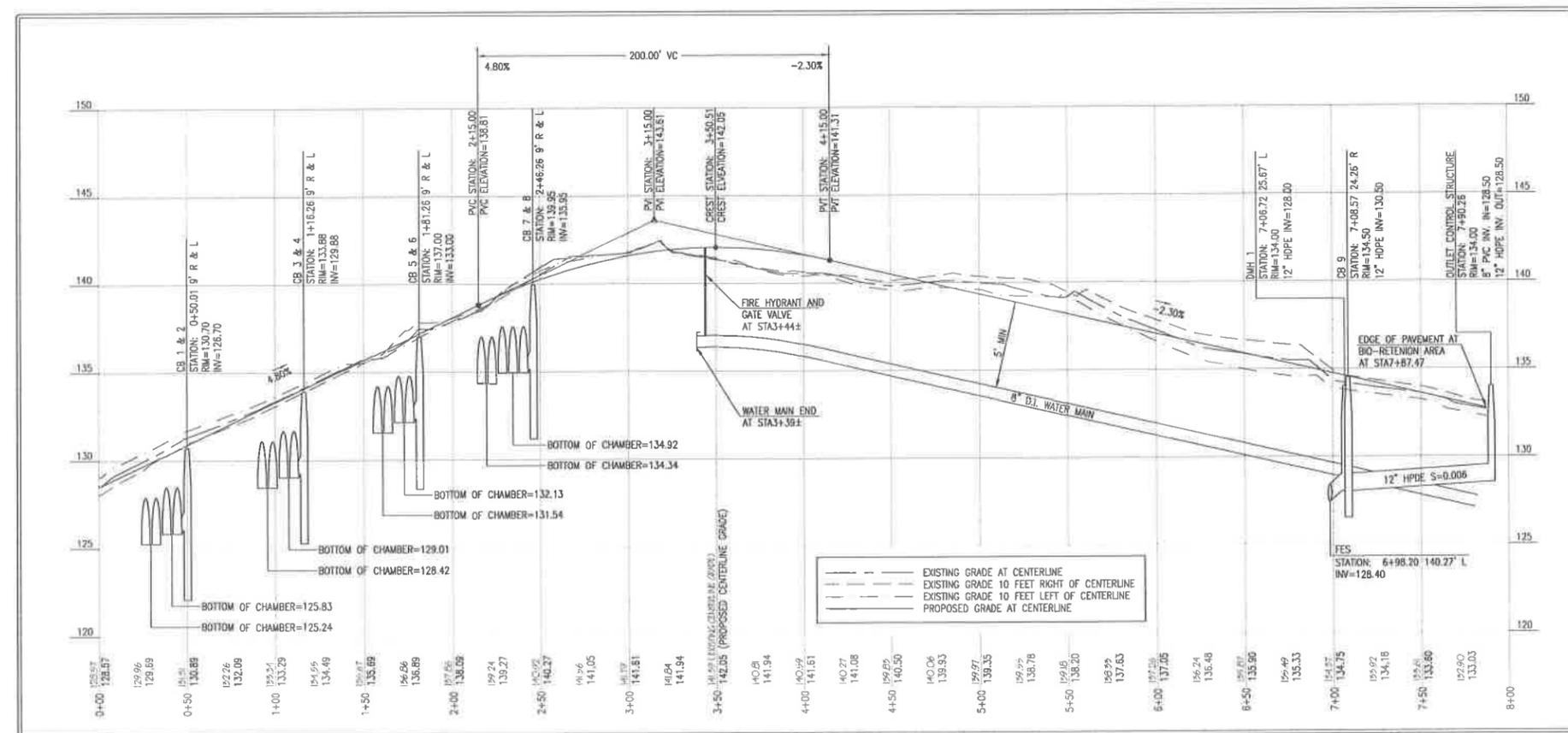
JULY 3, 2013
 SCALE: 1"=40'
 JOB NO. 12-325
 LATEST REVISION:

EROSION & SEDIMENT CONTROL
 SHEET 8 OF 13



PLAN VIEW

SCALE: 1"=40'



PROFILE VIEW

SCALE: 1"=40' HORIZONTAL - 1"=4' VERTICAL

REVISIONS



THOMPSONFARLAND
 PROFESSIONAL ENGINEERS // LAND SURVEYORS
 www.ThompsonFarland.com
 (MAIN OFFICE) 398 COUNTY STREET, NEW BEDFORD, MA 02740 P.508.777.3479
 NEW BEDFORD | TAUNTON | CAMBRIDGE | MARLBOROUGH

DRAWN BY: AEC
 DESIGNED BY: CAF
 CHECKED BY: CAF/BJM

DEFINITIVE SUBDIVISION PLAN
 JACOB HILL ESTATES
 ASSESSORS MAP 17 PART OF LOT 79
 SEEKONK, MASSACHUSETTS
 PREPARED FOR:
 PALMER RIVER DEVELOPMENT
 1860 FALL RIVER AVENUE
 SEEKONK, MA 02771

JULY 3, 2013
 SCALE: VARIES
 JOB NO. 12-325
 LATEST REVISION:

PLAN & PROFILE

SHEET 9 OF 13

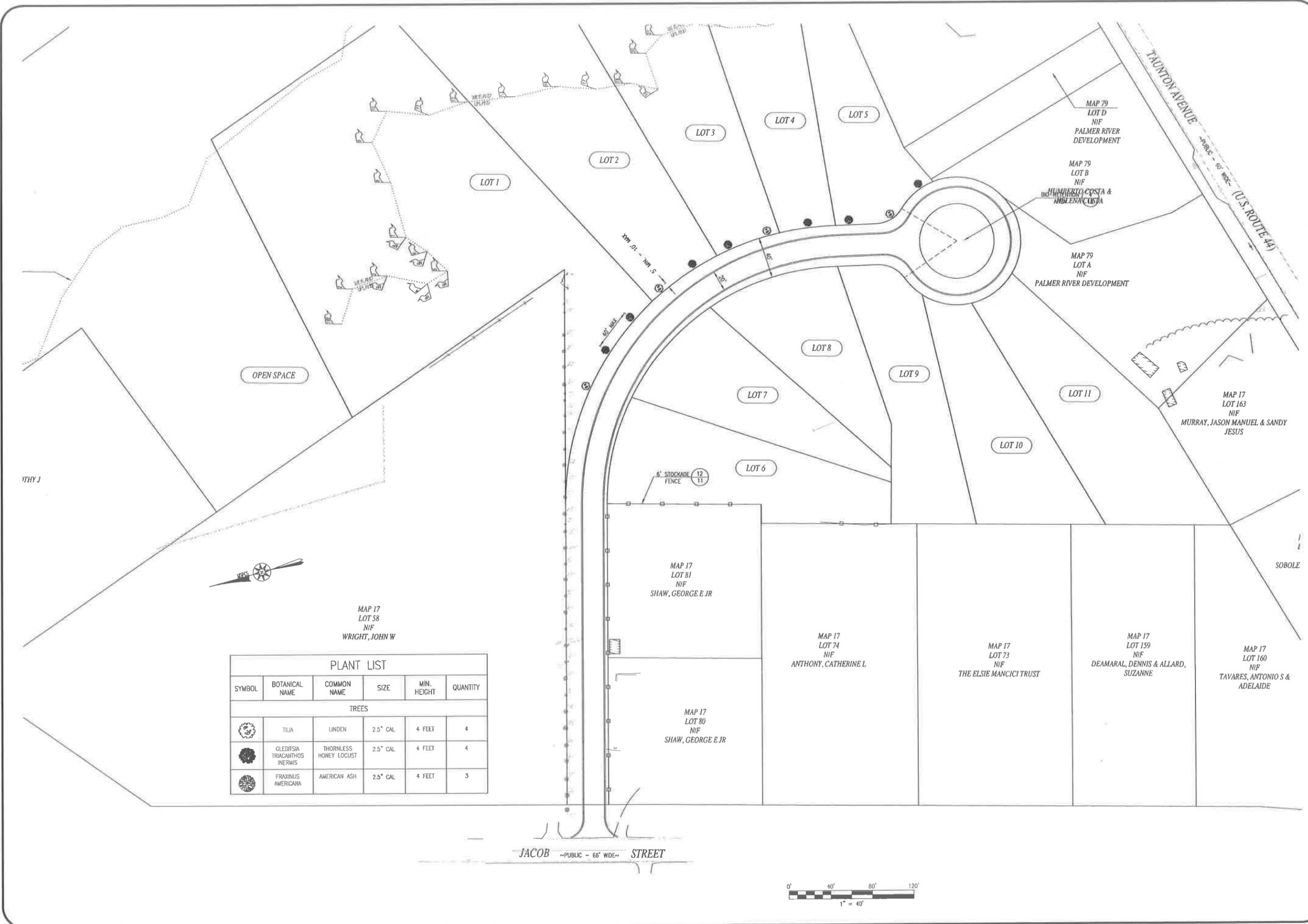


THOMPSONFARLAND
 PROFESSIONAL ENGINEERS // LAND SURVEYORS
 www.ThompsonFarland.com
 (MAIN OFFICE) 388 COUNTY STREET, NEW BEDFORD, MA 02740 P.508.777.3479
 NEW BEDFORD | TAUNTON | CAMBRIDGE | MARLBOROUGH

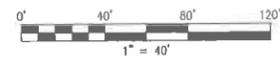
DRAWN BY: AEC
 DESIGNED BY: CAF
 CHECKED BY: CAF/BJM

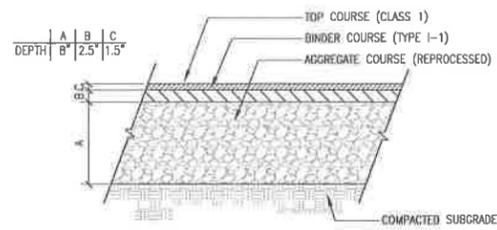
DEFINITIVE SUBDIVISION PLAN
 JACOB HILL ESTATES
 ASSESSORS MAP 17 PART OF LOT 79
 SEEKONK, MASSACHUSETTS
 PREPARED FOR:
 PALMER RIVER DEVELOPMENT
 1960 FALL RIVER AVENUE
 SEEKONK, MA 02771

JULY 3, 2013
 SCALE: 1"=40'
 JOB NO. 12-325
 LATEST REVISION:

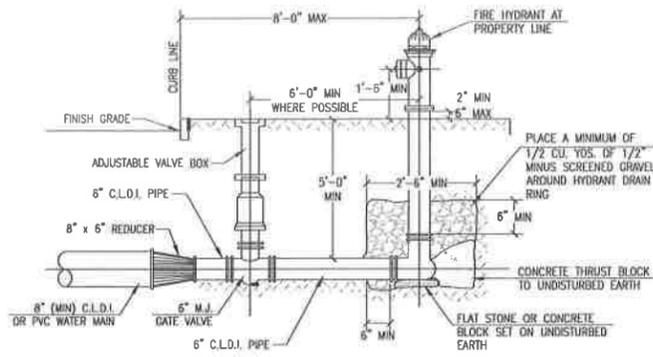


PLANT LIST					
SYMBOL	BOTANICAL NAME	COMMON NAME	SIZE	MIN. HEIGHT	QUANTITY
TREES					
	TILIA	LINDEN	2.5" CAL	4 FEET	4
	GLEDITSIA TRIACANTHOS INERMIS	THORNLESS HONEY LOCUST	2.5" CAL	4 FEET	4
	FRAXINUS AMERICANA	AMERICAN ASH	2.5" CAL	4 FEET	3

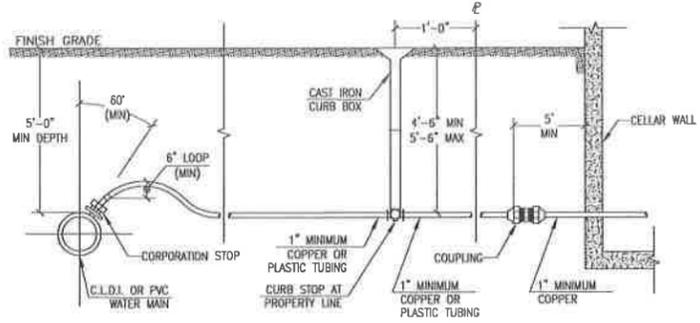




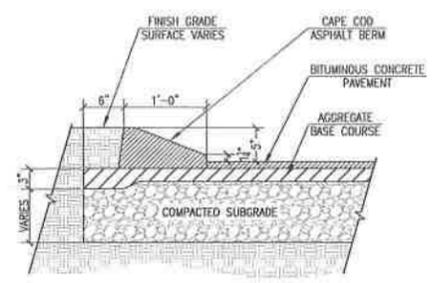
1 BITUMINOUS CONCRETE PAVEMENT
7 NOT TO SCALE



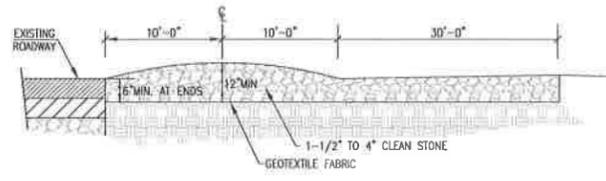
2 HYDRANT DETAIL
7 NOT TO SCALE



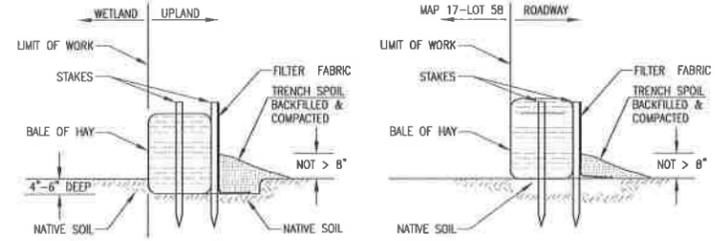
3 WATER SERVICE DETAIL
7 NOT TO SCALE



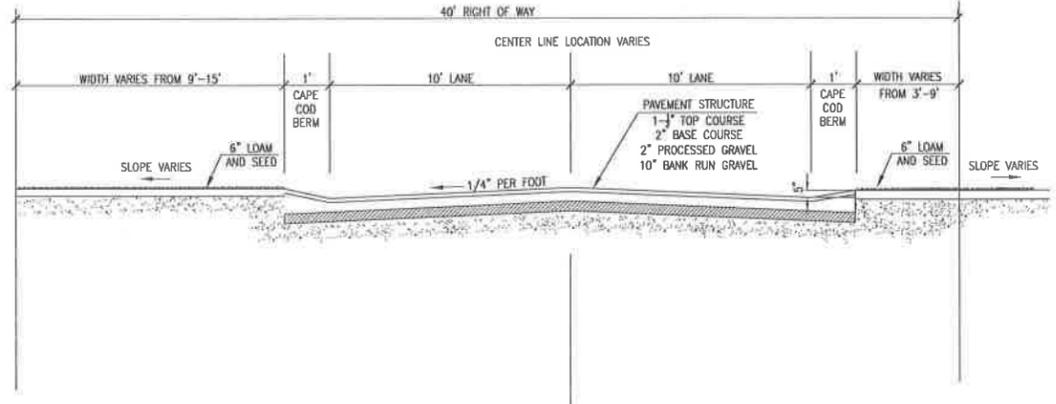
4 BITUMINOUS CONCRETE CAPE COD BERM
7 NOT TO SCALE



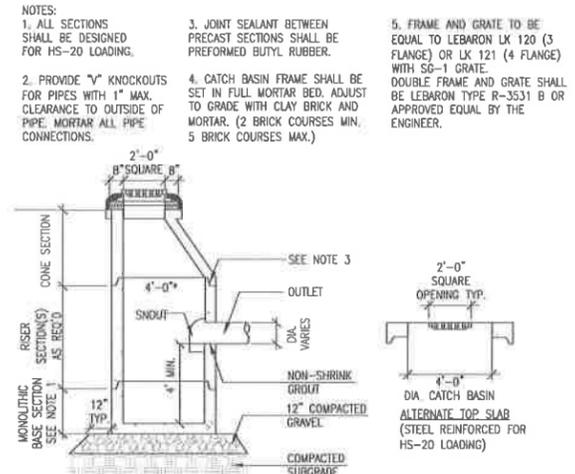
5 TEMPORARY CONSTRUCTION ENTRANCE
8 NOT TO SCALE



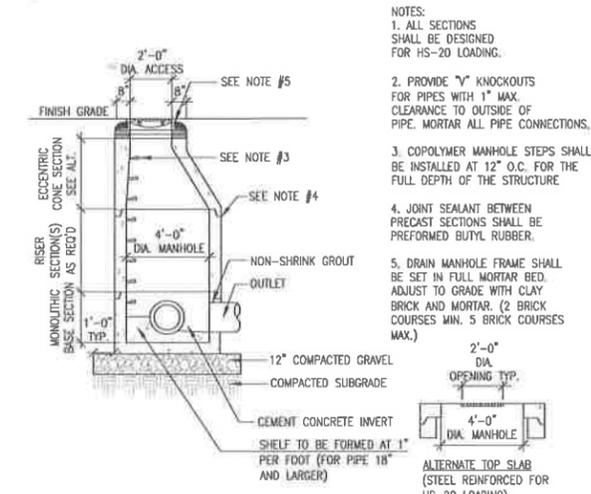
6 STAKED HAYBALES & SILT FENCE
8 NOT TO SCALE



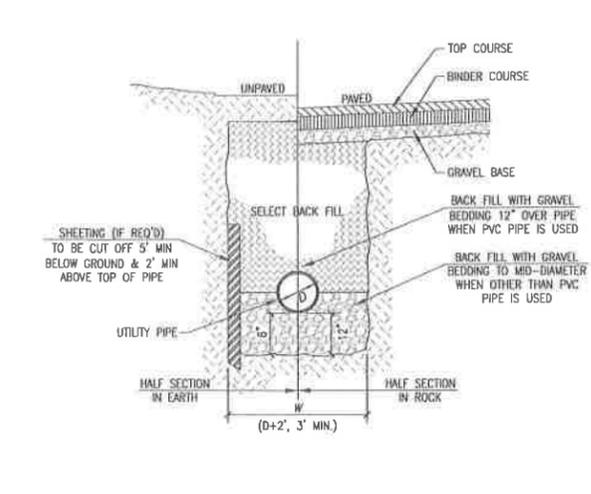
7 TYPICAL ROADWAY SECTION
6 NOT TO SCALE



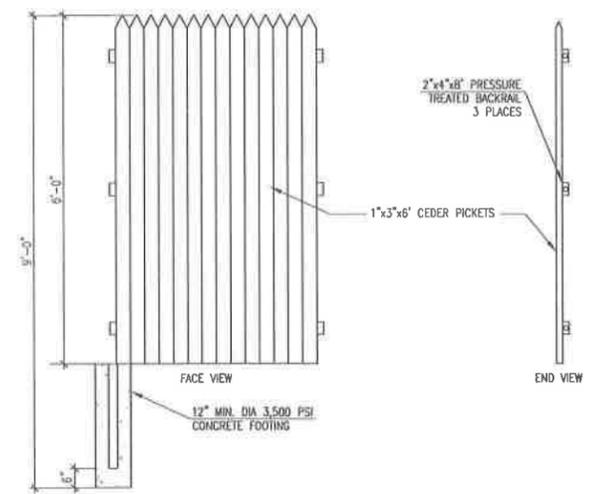
9 CATCH BASIN
7 NOT TO SCALE



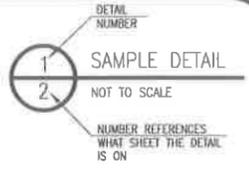
10 DRAIN MANHOLE
7 NOT TO SCALE



11 UTILITY TRENCH
7 NOT TO SCALE



12 6' STOCKADE FENCE DETAIL
10 NOT TO SCALE



REVISIONS	



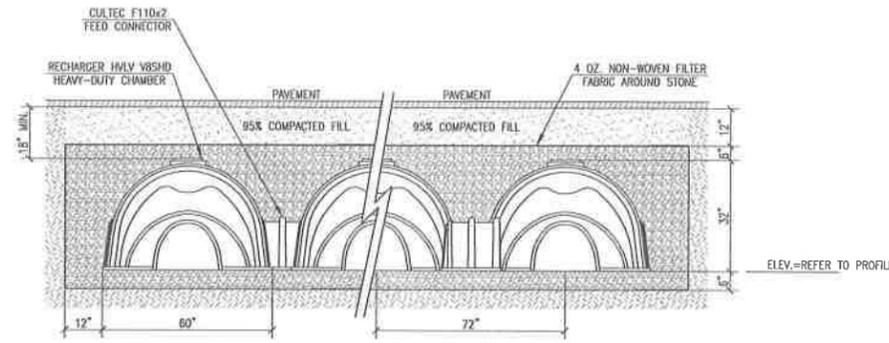
THOMPSONFARLAND
PROFESSIONAL ENGINEERS // LAND SURVEYORS
www.ThompsonFarland.com
(MAIN OFFICE) 898 COUNTY STREET, NEW BEDFORD, MA 02740 P.508.717.3479
NEW BEDFORD | TAUNTON | CAMBRIDGE | MARLBOROUGH

DRAWN BY: AEC
DESIGNED BY: CAF
CHECKED BY: CAF/BJM

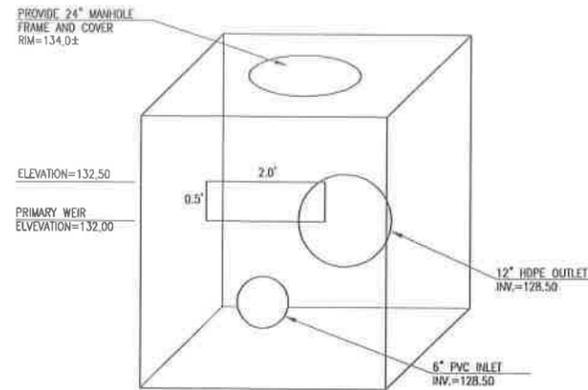
DEFINITIVE SUBDIVISION PLAN
JACOB HILL ESTATES
ASSESSORS MAP 17 PART OF LOT 79
SEEKONK, MASSACHUSETTS
PREPARED FOR:
PALMER RIVER DEVELOPMENT
1950 FALL RIVER AVENUE
SEEKONK, MA 02771

JULY 3, 2013
SCALE: AS NOTED
JOB NO. 12-325
LATEST REVISION:

DETAILS
SHEET 11 OF 13



1 CULTEC RECHARGER VBHD HEAVY DUTY CROSS SECTION
7 NOT TO SCALE



2 PRECAST CONCRETE OUTLET CONTROL STRUCTURE
7 NOT TO SCALE

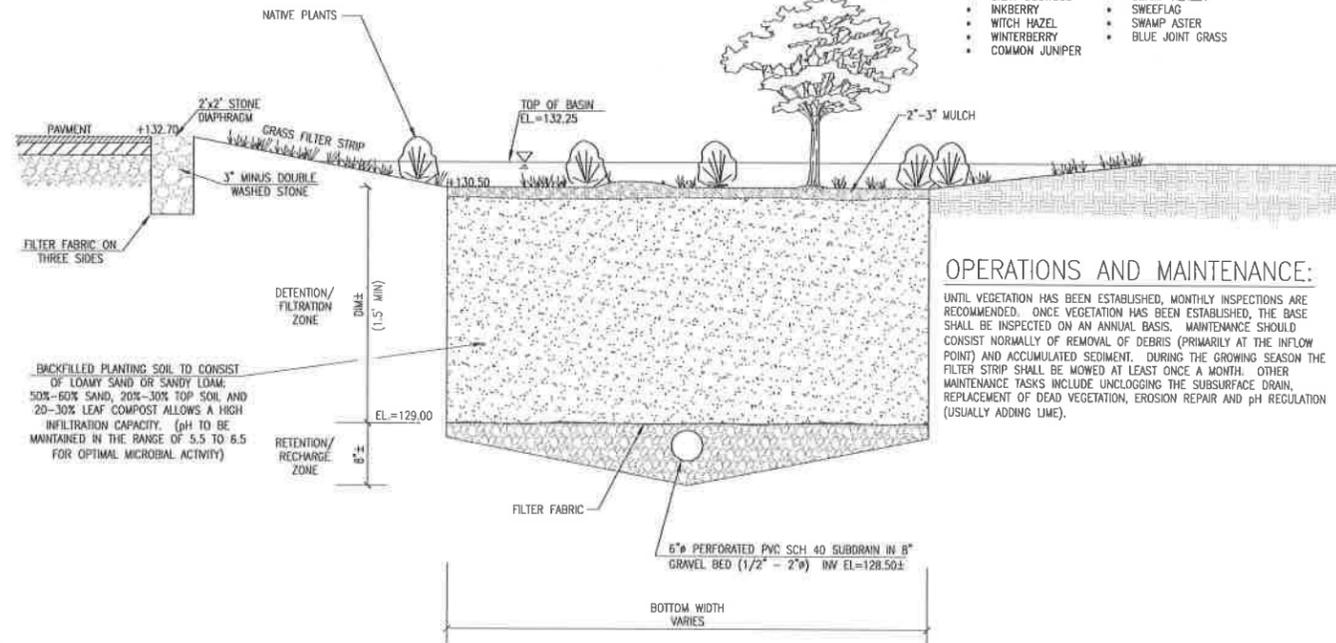
DETAIL NUMBER
1 SAMPLE DETAIL
2 NOT TO SCALE
NUMBER REFERENCES
WHAT SHEET THE DETAIL IS ON

PLANTING NOTES:

PLANT ONE SHRUB PER 50 SQUARE FEET OF RAIN GARDEN AREA AND AT LEAST THREE SPECIES EACH OF HERBACEOUS PERENNIALS AND SHRUBS. INVASIVE AND EXOTIC SPECIES ARE PROHIBITED.
REQUIRED SHRUBS:
RAIN GARDEN = 75 (3,739 S.F./50)

HERBACEOUS SPECIES SELECTION (MIX AND MATCH- OTHERS MAY BE USED IF IN ACCORDANCE WITH THE STORMWATER MANAGEMENT REGULATIONS):

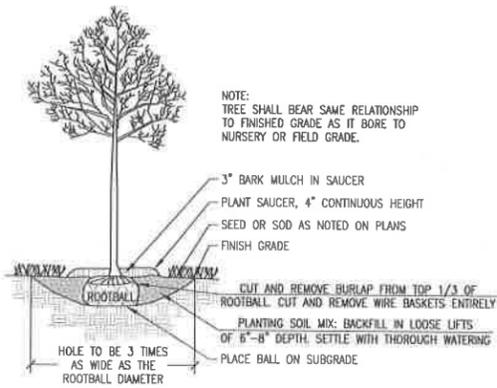
- INDIAN GRASS
- RED CHOCHEBERRY
- SWEET PEPPERBUSH
- SILKY DOGWOOD
- INKBERRY
- WITCH HAZEL
- WINTERBERRY
- COMMON JUNIPER
- CREEPING JUNIPER
- BAY BERRY
- BUTTON BUSH
- SWAMP AZALEA
- SWEEFLAG
- SWAMP ASTER
- BLUE JOINT GRASS



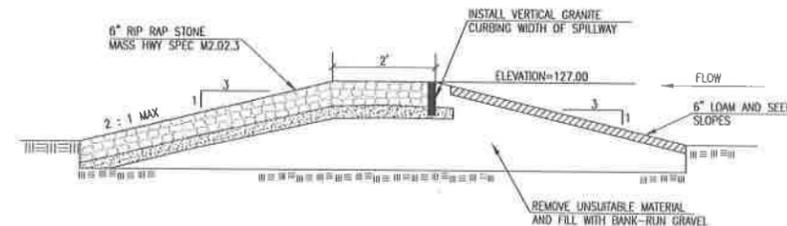
4 BIO-RETENTION AREA (PROFILE)
7 NOT TO SCALE

OPERATIONS AND MAINTENANCE:

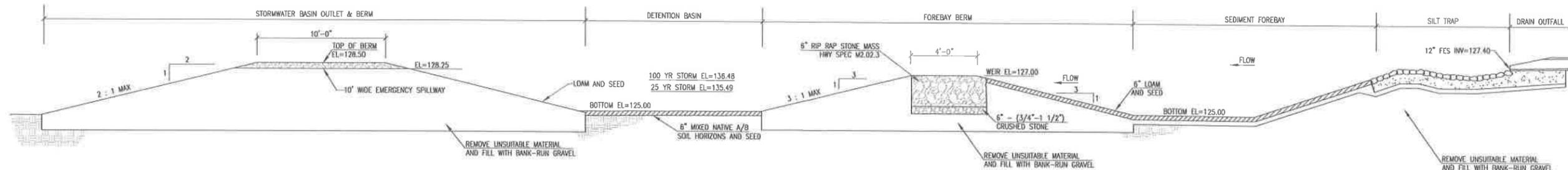
UNTIL VEGETATION HAS BEEN ESTABLISHED, MONTHLY INSPECTIONS ARE RECOMMENDED. ONCE VEGETATION HAS BEEN ESTABLISHED, THE BASE SHALL BE INSPECTED ON AN ANNUAL BASIS. MAINTENANCE SHOULD CONSIST NORMALLY OF REMOVAL OF DEBRIS (PRIMARILY AT THE INFLOW POINT) AND ACCUMULATED SEDIMENT. DURING THE GROWING SEASON THE FILTER STRIP SHALL BE MOWED AT LEAST ONCE A MONTH. OTHER MAINTENANCE TASKS INCLUDE UNBLOCKING THE SUBSURFACE DRAIN, REPLACEMENT OF DEAD VEGETATION, EROSION REPAIR AND pH REGULATION (USUALLY ADDING LIME).



3 TREE AND SHRUB PLANTING
7 NOT TO SCALE



5 OVERFLOW SPILLWAY DETAIL
7 NOT TO SCALE



6 STORMWATER BASIN SECTION
7 NOT TO SCALE

REVISIONS

NO.	DESCRIPTION



THOMPSONFARLAND
PROFESSIONAL ENGINEERS // LAND SURVEYORS
www.ThompsonFarland.com
(MAIN OFFICE) 388 COUNTY STREET, NEW BEDFORD, MA 02740 P.508.777.3479
NEW BEDFORD | TAUNTON | CAMBRIDGE | MARLBOROUGH

DRAWN BY: AEC
DESIGNED BY: CAF
CHECKED BY: CAF/BJM

DEFINITIVE SUBDIVISION PLAN
JACOB HILL ESTATES
ASSESSORS MAP 17 PART OF LOT 79
SEEKONK, MASSACHUSETTS
PREPARED FOR:
PALMER RIVER DEVELOPMENT
1960 FALL RIVER AVENUE
SEEKONK, MA 02771

JULY 3, 2013
SCALE: AS NOTED
JOB NO. 12-325
LATEST REVISION:

GENERAL CONSTRUCTION NOTES

1. THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES AND STRUCTURES AS SHOWN ON THESE PLANS IS BASED ON RECORDS OF VARIOUS UTILITY COMPANIES AND WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THIS INFORMATION IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE. THE LOCATION OF ALL UNDERGROUND UTILITIES AND STRUCTURES SHALL BE VERIFIED IN THE FIELD BY THE CONTRACTOR PRIOR TO THE START OF CONSTRUCTION. THE CONTRACTOR MUST CONTACT THE APPROPRIATE UTILITY COMPANY, ANY GOVERNING PERMITTING AUTHORITY, AND "DIG SAFE" AT LEAST 72 HOURS PRIOR TO ANY EXCAVATION WORK TO REQUEST EXACT FIELD LOCATION OF UTILITIES INTERFERING WITH THE PROPOSED CONSTRUCTION AND APPROPRIATE REMEDIAL ACTION TAKEN BEFORE PROCEEDING WITH THE WORK. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE ALL EXISTING UTILITIES WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THE PLAN.
2. TOPOGRAPHIC AND PROPERTY LINE SURVEY PERFORMED BY THOMPSON FARLAND, INC. IN APRIL OF 2011.
3. VERTICAL ELEVATIONS REFER TO THE NORTH AMERICAN VERTICAL DATUM (NAVD) OF 1988 AND HORIZONTAL LOCATIONS REFER TO THE NORTH AMERICAN DATUM (NAD) OF 1983.
4. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH ALL APPLICABLE STATE AND LOCAL STANDARD AND REGULATIONS.
5. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ESTABLISHING AND MAINTAINING ALL CONTROL POINTS AND BENCH MARKS NECESSARY FOR THE WORK.
6. WHERE PROPOSED PAVEMENT AND WALKS ARE TO MEET EXISTING, THE CONTRACTOR SHALL SAWCUT A NEAT LINE AND MATCH GRADE. SEAL ALL JOINTS WITH HOT BITUMINOUS ASPHALT JOINT SEALER.
7. CURBING TO BE AS INDICATED ON THE PLANS.
8. ALL EXISTING TREES, SHRUBS AND GROUND COVER WHERE NATURAL GRADE IS TO BE RETAINED SHALL BE KEPT IN THEIR EXISTING STATE UNLESS REMOVAL IS REQUIRED FOR CONSTRUCTION PURPOSES.
9. ALL AREAS DISTURBED BY CONSTRUCTION AND NOT TO BE PAVED OR OTHERWISE TREATED AS NOTED ON PLAN SHALL BE TREATED WITH 4" OF LOAM, SEEDED AND HAY MULCHED FOR EROSION CONTROL.
10. SITE IMPROVEMENTS SHALL CONFORM TO A.D.A. SPECIFICATIONS.
11. TEST PITS AND/OR BORINGS WERE TAKEN FOR THE PURPOSE OF DESIGN AND SHOW CONDITIONS AT BORING POINTS ONLY. THEY DO NOT NECESSARILY SHOW THE NATURE OF ALL MATERIALS TO BE ENCOUNTERED DURING CONSTRUCTION.
12. THE CONTRACTOR SHALL PROTECT AND/OR CAP OFF ALL EXISTING ON-SITE UTILITY SERVICES ACCORDING TO THE LOCAL AUTHORITY'S SPECIFICATIONS. SERVICES SHALL BE CAPPED OFF WHERE SAME ENTER THE PERIMETER OF THE PROPERTY LINE.
13. CONTRACTOR SHALL THOROUGHLY FAMILIARIZE THEMSELVES WITH ALL CONSTRUCTION DOCUMENTS, SPECIFICATIONS AND SITE CONDITIONS PRIOR TO BIDDING AND PRIOR TO CONSTRUCTION.
14. ANY DISCREPANCIES BETWEEN DRAWINGS, SPECIFICATIONS AND SITE CONDITIONS SHALL BE REPORTED IMMEDIATELY TO THE OWNER'S REPRESENTATIVE FOR CLARIFICATION AND RESOLUTION PRIOR TO BIDDING OR CONSTRUCTION.
15. THESE PLANS ARE PERMITTING PLANS AND SHALL NOT TO BE USED FOR CONSTRUCTION. A FINAL SET OF STAMPED PLANS FOR CONSTRUCTION WILL BE ISSUED AFTER RECEIVING FINAL APPROVAL FROM THE LOCAL AND/OR STATE DEPARTMENTS.

CONSTRUCTION SEQUENCING NOTES

1. CONSTRUCT TEMPORARY AND PERMANENT EROSION CONTROL FACILITIES. EROSION CONTROL FACILITIES SHALL BE INSTALLED PRIOR TO ANY EARTHMOVING.
2. TREE PROTECTION FENCE SHALL BE INSTALLED AND APPROVED BY THE OWNER REPRESENTATIVE PRIOR TO ANY EARTHMOVING.
3. ALL PERMANENT DITCHES AND SWALES ARE TO BE STABILIZED WITH VEGETATION OR RIP RAP PRIOR TO DIRECTING RUNOFF TO THEM.
4. CLEAR CUT, DEMOLISH AND DISPOSE OF EXISTING SITE ELEMENTS NOT TO REMAIN.
5. STORMWATER SHALL NOT BE DIRECTED TOWARDS THE INFILTRATION BASINS UNTIL THE ENTIRE CONTRIBUTING DRAINAGE AREA HAS BEEN STABILIZED.
6. GRADE AND GRAVEL ALL PAVED AREAS. ALL PROPOSED PAVED AREAS SHALL BE STABILIZED IMMEDIATELY AFTER GRADING.
7. BEGIN ALL PERMANENT AND TEMPORARY SEEDING AND MULCHING. ALL CUT AND FILL SLOPES SHALL BE SEEDED AND MULCHED IMMEDIATELY AFTER THEIR CONSTRUCTION.
8. DAILY, OR AS REQUIRED, CONSTRUCT TEMPORARY BERMS, DRAINS, DITCHES, SILT FENCES AND MULCH AND SEED AS REQUIRED.
9. FINISH PAVING ALL HARD SURFACE AREAS.
10. INSPECT AND MAINTAIN ALL EROSION AND SEDIMENT CONTROL MEASURES.
11. COMPLETE PERMANENT SEEDING AND LANDSCAPING.
12. REMOVE TEMPORARY EROSION CONTROL MEASURES.
13. THE CONSTRUCTION SEQUENCE SHALL BE CONFINED TO THE LIMIT OF WORK AS SHOWN ON THE DRAWINGS.
14. UPON COMPLETION OF CONSTRUCTION THE OWNER SHALL AGREE TO MAINTAIN AND CLEAN ALL DRAINAGE STRUCTURES AS REQUIRED.

SITE PREPARATION NOTES

1. WITHIN THE LIMIT OF WORK LINE AS NOTED ON THE SITE PLANS, REMOVE AND DISCARD ALL CONCRETE PAVEMENT, BITUMINOUS CONCRETE PAVEMENT, BRICK PAVEMENT, TOP SOIL, MULCH, TRASH, DEAD TREES AND STUMPS, SHRUBBERY, CHAIN LINK FENCE POSTS, RAILS, FABRIC, GATES, FOOTINGS AND ALL APPURTENANCES, BOLLARDS, POSTS, CONCRETE FOOTINGS AND FOUNDATIONS, WALLS AND CURBS UNLESS OTHERWISE NOTED.
2. THE OWNER'S REPRESENTATIVE SHALL BE CONSULTED AND WILL REVIEW THE WORK ON SITE WITH THE CONTRACTOR BEFORE ANY WORK SHALL COMMENCE.
3. THE CONTRACTOR SHALL VERIFY ALL EXISTING CONDITIONS IN THE FIELD AND REPORT ANY DISCREPANCIES BETWEEN PLANS AND ACTUAL CONDITIONS TO THE OWNER'S REPRESENTATIVE PRIOR TO STARTING WORK.
4. THE CONTRACTOR IS RESPONSIBLE FOR ANY DAMAGE TO EXISTING CONDITIONS TO REMAIN THAT ARE DUE TO CONTRACTOR OPERATIONS.
5. ALL ITEMS TO BE REMOVED THAT ARE NOT STOCKPILED FOR LATER REUSE ON THE PROJECT OR DELIVERED TO THE OWNER SHALL BE LEGALLY DISPOSED OF OFF SITE BY THE CONTRACTOR.
6. THE CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATING HIS EFFORTS OF THE DEMOLITION WITH ALL TRADES.
7. THE CONTRACTOR SHALL COORDINATE ALL ADJUSTMENT OR ABANDONMENT OF UTILITIES WITH THE RESPECTIVE UTILITY COMPANY.
8. THE CONTRACTOR SHALL MAINTAIN OR ADJUST TO NEW FINISH GRADES AS NECESSARY ALL UTILITY AND SITE STRUCTURES SUCH AS LIGHT POLES, SIGN POLES, MANHOLES, CATCH BASINS, HAND HOLES, WATER AND GAS GATES, HYDRANTS, ETC., FROM MAINTAINED UTILITY AND SITE SYSTEMS UNLESS OTHERWISE NOTED OR DIRECTED BY THE OWNER'S REPRESENTATIVE.

UTILITY AND GRADING NOTES

1. CONTRACTOR SHALL MEET WITH THE DEPARTMENT OF PUBLIC WORKS TO VERIFY THE DETAILS IN THE PERMITTING SET MEET THE TOWNS REQUIREMENTS.
2. ALL ON-SITE STORM DRAINAGE PIPES SHALL BE HIGH DENSITY POLYETHYLENE PIPE (HDPE) OR RCP, UNLESS NOTED OTHERWISE.
3. HDPE PIPE SHALL CONFIRM WITH AASHTO DESIGNATIONS M294 AND M252, SHALL BE MANUFACTURED WITH HIGH DENSITY POLYETHYLENE PLASTIC AND SHALL BE ADS N-12 PIPE AS MANUFACTURED BY ADVANCE DRAINAGE SYSTEM, INC. OR HANCOR HI Q PIPE AS MANUFACTURED BY HANCOR, INC. OR APPROVED EQUAL UNLESS OTHERWISE NOTED OR DETAILED.
4. ALL WATER MAINS SHALL BE INSTALLED WITH A MINIMUM OF 5 FEET OF COVER AND A MAXIMUM OF 6 FEET OF COVER EXCEPT AS NOTED OR DETAILED OTHERWISE. GREATER DEPTHS ARE PERMITTED WHERE REQUIRED TO AVOID CONFLICTS WITH OTHER UTILITIES.
5. GENERALLY, WATER MAIN FITTINGS IDENTIFIED ON THIS DRAWING ARE SHOWN FOR INSTALLATION LOCATION PURPOSE. THE CONTRACTOR SHALL NOTE THAT NOT ALL FITTINGS ARE NOTED, SHOWN OR INDICATED.
6. ALL WATER MAIN FITTINGS, TEES, BENDS, HYDRANTS, ETC. SHALL BE RESTRAINED WITH CONCRETE THRUST BLOCKS.
7. ALL HYDRANTS SHALL BE INSTALLED WITH A 6" C.I.D.I. RUNOUT AND SHALL BE INSTALLED WITH APPROPRIATELY SIZED GATE VALVE, BOX, AND TEE FITTING. ALL HYDRANTS SHALL MEET LOCAL MUNICIPAL SPECIFICATION REQUIREMENTS AND SHALL BE INSTALLED IN ACCORDANCE WITH ALL LOCAL MUNICIPAL REQUIREMENTS.
8. DOMESTIC WATER SERVICES 2.5" AND SMALLER SHALL BE TYPE K COPPER TUBING AND SHALL BE INSTALLED WITH APPROPRIATELY SIZED CORPORATION STOP AND APPROVED SADDLE CURB STOP, AND BOX, USING MATERIALS SPECIFIED BY THE MUNICIPAL WATER DEPARTMENT OR COMPANY.
9. ALL WATER MAINS 3" AND LARGER SHALL BE CEMENT LINED DUCTILE IRON - CLASS 52, AND SHALL BE INSTALLED WITH APPROPRIATELY SIZED FITTINGS AND GATE VALVES.
10. ALL WATER MAIN APPURTENANCES, MATERIALS, METHODS OF INSTALLATION AND TESTING REQUIREMENTS SHALL MEET OR EXCEED ALL LOCAL MUNICIPAL REQUIREMENTS.
11. PRESSURE AND LEAKAGE TEST, DISINFECTION AND FLUSHING SHALL BE IN ACCORDANCE WITH ALL LOCAL MUNICIPAL STANDARDS AND REQUIREMENTS. CONTRACTORS SHALL BE RESPONSIBLE FOR ALL COSTS IN CONNECTION WITH UTILITY TESTS, FLUSHING AND INSPECTIONS AS REQUIRED BY THE LOCAL MUNICIPALITY.
12. BEFORE THE DEVELOPMENT SITE IS GRADED, THE AREA OF THE DRAINAGE BASINS SHOULD BE FENCED OFF TO PREVENT HEAVY EQUIPMENT FROM COMPACTING THE UNDERLYING SOIL.
13. WHERE PROPOSED GRADES MEET EXISTING GRADES, CONTRACTOR SHALL BLEND GRADES TO PROVIDE A SMOOTH TRANSITION BETWEEN EXISTING AND NEW WORK. PONDING AT TRANSITION AREAS WILL NOT BE ALLOWED.
14. MAXIMUM SLOPE IN DISTURBED AREAS SHALL NOT EXCEED 3:1, UNLESS OTHERWISE NOTED.
15. CONTRACTOR SHALL VERIFY EXISTING GRADES AND NOTIFY OWNER'S REPRESENTATIVE OF ANY DISCREPANCIES.
16. CONTRACTOR SHALL ADJUST UTILITY ELEMENT MEANT TO BE FLUSH WITH GRADE THAT IS AFFECTED BY SITE WORK OR GRADE CHANGES, WHETHER SPECIFICALLY NOTED ON PLANS OR NOT.
17. WHERE AN EXISTING UTILITY IS FOUND TO CONFLICT WITH THE PROPOSED WORK, THE LOCATION, ELEVATION AND SIZE OF THE UTILITY SHALL BE ACCURATELY DETERMINED WITHOUT DELAY BY THE CONTRACTOR, AND THE INFORMATION FURNISHED TO THE OWNER'S REPRESENTATIVE FOR RESOLUTION OF THE CONFLICT.
18. THE CONTRACTOR SHALL MAKE ALL ARRANGEMENTS FOR THE ALTERATION AND ADJUSTMENT OF ALL GAS, ELECTRIC, TELEPHONE AND ANY OTHER PRIVATE UTILITIES BY THE UTILITY COMPANIES.
19. ELECTRICAL DUCT BANK LOCATION IS SHOWN FOR COORDINATION PURPOSES, REFER TO ELECTRICAL PLANS FOR SECTIONS AND DETAILS OF THE UTILITY DUCT BANK.
20. THE LOCATION, SIZE, DEPTH AND SPECIFICATIONS FOR CONSTRUCTION OF PRIVATE UTILITY SERVICES SHALL BE INSTALLED ACCORDING TO THE REQUIREMENTS PROVIDED BY AND APPROVED BY THE RESPECTIVE UTILITY COMPANY (GAS, TELEPHONE AND ELECTRICAL). FINAL DESIGN AND LOCATIONS AT THE BUILDING WILL BE PROVIDED BY THE ARCHITECT. THE CONTRACTOR SHALL COORDINATE THE INSTALLATION OF THE UTILITY CONNECTIONS WITH THE RESPECTIVE COMPANIES PRIOR TO ANY UTILITY CONSTRUCTION.

SOIL EROSION AND SEDIMENT CONTROL NOTES

1. THE CONSERVATION COMMISSION SHALL BE NOTIFIED, AT LEAST 72 HOURS PRIOR TO ANY LAND DISTURBANCE.
2. A COPY OF THE SOIL EROSION AND SEDIMENT CONTROL PLAN MUST BE MAINTAINED ON THE PROJECT SITE DURING CONSTRUCTION.
3. SOIL EROSION AND SEDIMENT CONTROL PRACTICES IN THE PLAN SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE PLANS AND SPECIFICATIONS.
4. ALL APPLICABLE SOIL EROSION AND SEDIMENT CONTROL PRACTICES SHALL BE IN PLACE PRIOR TO ANY DEMOLITION GRADING OPERATIONS AND/OR INSTALLATION OF PROPOSED STRUCTURES OR UTILITIES.
5. ALL APPLICABLE SOIL EROSION AND SEDIMENT CONTROL PRACTICES SHALL BE LEFT IN PLACE UNTIL CONSTRUCTION IS COMPLETED AND/OR THE AREA IS STABILIZED.
6. ALL SOIL EROSION AND SEDIMENT CONTROL STRUCTURES SHALL BE INSPECTED AND MAINTAINED ON A REGULAR BASIS AND AFTER EVERY STORM EVENT.
7. THE MAINTENANCE OF SOIL EROSION AND SEDIMENT CONTROL MEASURES AND FACILITIES DURING AND IMMEDIATELY AFTER CONSTRUCTION RESTS WITH THE GENERAL CONTRACTOR. UPON ACCEPTANCE OF THE PROJECT, THE OWNER SHALL BECOME RESPONSIBLE FOR MAINTENANCE OF ANY REMAINING MEASURES AND FACILITIES.
8. OFFSITE SEDIMENT DISTURBANCE MAY REQUIRE ADDITIONAL CONTROL MEASURES TO BE DETERMINED BY THE ENGINEER.
9. THE CONSERVATION COMMISSION AND/OR ENGINEER MAY REQUIRE ADDITIONAL SOIL EROSION MEASURES TO BE INSTALLED, AS DIRECTED BY THE DISTRICT INSPECTOR.
10. ADJOINING PROPERTIES SHALL BE PROTECTED FROM EXCAVATION AND FILLING OPERATIONS AT ALL TIMES.
11. THE CONTRACTOR SHALL UTILIZE ALL METHODS NECESSARY TO PREVENT BLOWING AND MOVEMENT OF DUST FROM THE EXPOSED SOIL SURFACES.
12. PAVED ROADWAYS MUST BE KEPT CLEAN AT ALL TIMES.
13. A CRUSHED STONE TIRE-CLEANING PAD WILL BE INSTALLED WHEREVER A CONSTRUCTION ENTRANCE EXISTS. SEE LOCATION DETAIL ON PLAN.
14. ALL CATCH BASIN INLETS SHALL BE PROTECTED DURING CONSTRUCTION AS DETAILED ON THE PLAN, IF APPLICABLE.
15. ALL STORM DRAINAGE OUTLETS SHALL BE PROTECTED AS REQUIRED HEREON BEFORE DISCHARGE POINTS BECOME OPERATIONAL.
16. THE SITE SHALL AT ALL TIMES BE GRADED AND MAINTAINED SUCH THAT ALL STORMWATER RUNOFF IS DIVERTED TO SOIL EROSION AND SEDIMENT CONTROL FACILITIES.
17. LAND AREAS EXPOSED AT ANY ONE TIME AND THE LENGTH OF EXPOSURE SHALL BE KEPT TO A PRACTICAL MINIMUM. THEY SHALL BE LEFT IN A NEAT AND FINISHED APPEARANCE AND PROTECTED FROM EROSION.
18. ANY DISTURBED AREA THAT WILL BE LEFT EXPOSED FOR MORE THAN SIXTY (60) DAYS AND NOT SUBJECT TO CONSTRUCTION TRAFFIC SHALL IMMEDIATELY RECEIVE A TEMPORARY SEEDING AND FERTILIZATION. IF THE SEASON PROHIBITS TEMPORARY SEEDING, THE DISTRIBUTED AREAS SHALL BE MULCHED.
19. ALL CRITICAL AREAS SUBJECT TO EROSION SHALL RECEIVE A TEMPORARY SEEDING AND BE MULCHED IN ACCORDANCE WITH THE SPECIFICATIONS IMMEDIATELY FOLLOWING ROUGH GRADING.
20. IMMEDIATELY AFTER COMPLETION OF STRIPPING AND STOCKPILING OF TOPSOIL, SEED THE STOCKPILE WITH ANNUAL RYE GRASS. STABILIZE TOPSOIL STOCKPILES WITH STRAW MULCH FOR PROTECTION IF THE SEASON DOES NOT PERMIT THE APPLICATION AND ESTABLISHMENT OF TEMPORARY SEEDING.
21. SOIL STOCKPILES ARE NOT TO BE LOCATED WITHIN FIFTY (50) FEET OF WETLANDS, THE FLOODPLAIN, SLOPE, ROADWAY OR DRAINAGE FACILITIES. THE BASE OF ALL STOCKPILES SHALL BE PROTECTED BY A HAY BALE BARRIER OR SEDIMENT FENCE. LOCATIONS ARE DELINEATED ON THE PLAN.
22. MAXIMUM SIDE SLOPES OF ALL EXPOSED SURFACES SHALL NOT BE CONSTRUCTED STEEPER THAN 3:1 UNLESS OTHERWISE APPROVED BY THE DISTRICT.
23. ALL AREAS NOT STABILIZED BY CONSTRUCTION, SODDING OR LANDSCAPING SHALL BE SEEDED AND STABILIZED IN ACCORDANCE WITH THE SEEDING AND MULCHING SPECIFICATIONS.
24. MULCHING IS REQUIRED ON ALL SEEDED AREAS TO INSURE AGAINST EROSION BEFORE GRASS IS ESTABLISHED TO PROMOTE EARLIER VEGETATIVE COVER.
25. ALL DEWATERING OPERATIONS MUST DISCHARGE DIRECTLY INTO A SEDIMENT FILTRATION DEVICE. THE SEDIMENT FILTER MUST BE CAPABLE OF FILTERING THE SEDIMENT AND BE PLACED SO AS NOT TO CAUSE EROSION OF THE DOWNSTREAM AREA.

GENERAL PLANTING NOTES

1. ALL PLANT MATERIAL SHALL CONFORM TO THE STANDARDS OF THE AMERICAN ASSOCIATION OF NURSERYMEN OR THE PLANT MATERIAL WILL BE UNACCEPTABLE. ALL PLANT MATERIAL SHALL BE TRUE TO SPECIES, VARIETY, SIZE AND BE CERTIFIED DISEASE AND INSECT FREE. THE OWNER AND/OR THE LANDSCAPE ARCHITECT RESERVES THE RIGHT TO APPROVE ALL PLANT MATERIAL ON SITE PRIOR TO INSTALLATION.
2. ALL PLANT MATERIAL SHALL BE PROPERLY GUYED, STAKED, WRAPPED, AND PLANTED IN CONFORMANCE WITH THE TYPICAL PLANTING DETAILS. GUY WIRES SHALL BE ATTACHED TO THE TREE AT A HEIGHT OF TWO-THIRDS THE HEIGHT OF THE TREE AND SHOULD BE LOCATED AT POINTS SO AS NOT TO SPLIT THE TRUNK OF MULTI-STEMMED TREES. PROVIDE THREE STAKES PER TREE UNLESS NOTED OTHERWISE. INSTALL ALL PLANT MATERIAL ON UNDISTURBED GRADE. PROVIDE BURLAP WRAPPING WITH A 50% OVERLAP. CUT AND REMOVE BURLAP FROM TOP ONE-THIRD OF THE ROOT BALL.
3. PROVIDE PLANTING PITS AS INDICATED ON PLANTING DETAILS. BACKFILL PLANTING PITS WITH ONE PART EACH OF TOP SOIL, PEAT MOSS, AND PARENT MATERIAL. IF WET SOIL CONDITIONS EXIST THEN PLANTING PITS SHALL BE EXCAVATED AN ADDITIONAL 12" AND FILLED WITH SAND.
4. NEWLY INSTALLED PLANT MATERIAL SHALL BE WATERED AT THE TIME OF INSTALLATION AND SHALL BE SUBSEQUENTLY FLOODED TWICE WITHIN TWENTY-FOUR (24) HOURS OF PLANTING. REGULAR WATERING SHALL BE PROVIDED TO ENSURE THE ESTABLISHMENT, GROWTH AND SURVIVAL OF ALL PLANTS.
5. ALL PLANT MATERIAL SHALL BE GUARANTEED FOR ONE YEAR AFTER THE DATE OF FINAL ACCEPTANCE. ANY PLANT MATERIAL THAT DIES WITHIN THAT TIME PERIOD SHALL BE REMOVED, INCLUDING THE STUMP, AND REPLACED WITH MATERIAL OF SIMILAR SIZE AND SPECIES AT THE EXPENSE OF THE DEVELOPER. THE REPLACED PLANT MATERIAL SHALL BE GUARANTEED FOR ONE YEAR AFTER THE REPLACEMENT DATE.
6. THE LANDSCAPE CONTRACTOR SHALL PROVIDE A MINIMUM 4" LAYER OF TOPSOIL IN ALL LAWN AREAS AND A MINIMUM OF 6" OF TOPSOIL IN ALL PLANTING AREAS. A FULL SOIL ANALYSIS SHALL BE CONDUCTED AFTER CONSTRUCTION AND PRIOR TO PLANTING TO DETERMINE THE EXTENT OF SOIL AMENDMENT REQUIRED.
7. ALL DISTURBED LAWN AREAS SHALL BE STABILIZED WITH EITHER SOD OR SEED AS INDICATED ON THE LANDSCAPE PLANS. SEED SHALL CONSIST OF THE MIXTURE LISTED IN THE GENERAL SEEDING NOTES. ALL DISTURBED LAWN AREAS SHALL BE TOP SOILED, LIMED, FERTILIZED, AND FINE GRADED PRIOR TO LAWN INSTALLATION.
8. ALL PLANTING BEDS SHALL RECEIVE 3" OF SHREDDED PINE, CEDAR OR HEMLOCK BARK.
9. ALL SHRUB MASSES SHALL BE PLANTED IN CONTINUOUS MULCHED BEDS.
10. ALL TREES ARE TO BE GUYED, 3 EACH, UNLESS OTHERWISE NOTED ON PLAN.
11. ALL DECIDUOUS TREES ARE TO BE WRAPPED, WITH TREE WRAP, UP TO THE FIRST BRANCHING AND SECURED.
12. THE LANDSCAPE CONTRACTOR IS TO PERFORM ALL CONTRACTED WORK IN A REASONABLE PERIOD OF CONTINUOUS WORK.
13. THE LANDSCAPE CONTRACTOR IS TO MAINTAIN PLANT MATERIAL WHILE THE PROJECT IS UNDERWAY AND FOR A PERIOD OF TWO WEEKS AFTER THE COMPLETION OF THE PROJECT UNLESS OTHERWISE SPECIFIED.
14. THE CONTRACTOR IS TO CLEAN UP AND REMOVE ANY DEBRIS FROM THE SITE, CAUSED BY THE LANDSCAPE CONTRACTOR.

REVISIONS



THOMPSON FARLAND
PROFESSIONAL ENGINEERS // LAND SURVEYORS
www.ThompsonFarland.com
(MAIN OFFICE) 998 COUNTY STREET, NEW BEDFORD, MA 02740 P.508.717.3479
NEW BEDFORD | TAUNTON | CAMBRIDGE | MAHLFORDBOUGH

DRAWN BY: AEC
DESIGNED BY: CAF
CHECKED BY: CAF/BJM

DEFINITIVE SUBDIVISION PLAN
JACOB HILL ESTATES
ASSESSORS MAP 17 PART OF LOT 79
SEEKONK, MASSACHUSETTS
PREPARED FOR:
PALMER RIVER DEVELOPMENT
1960 FALL RIVER AVENUE
SEEKONK, MA 02771

JULY 3, 2013
SCALE: 1"=40'
JOB NO. 12-325
LATEST REVISION:

CONSTRUCTION NOTES
SHEET 13 OF 13

PROPOSED SENIOR CENTER

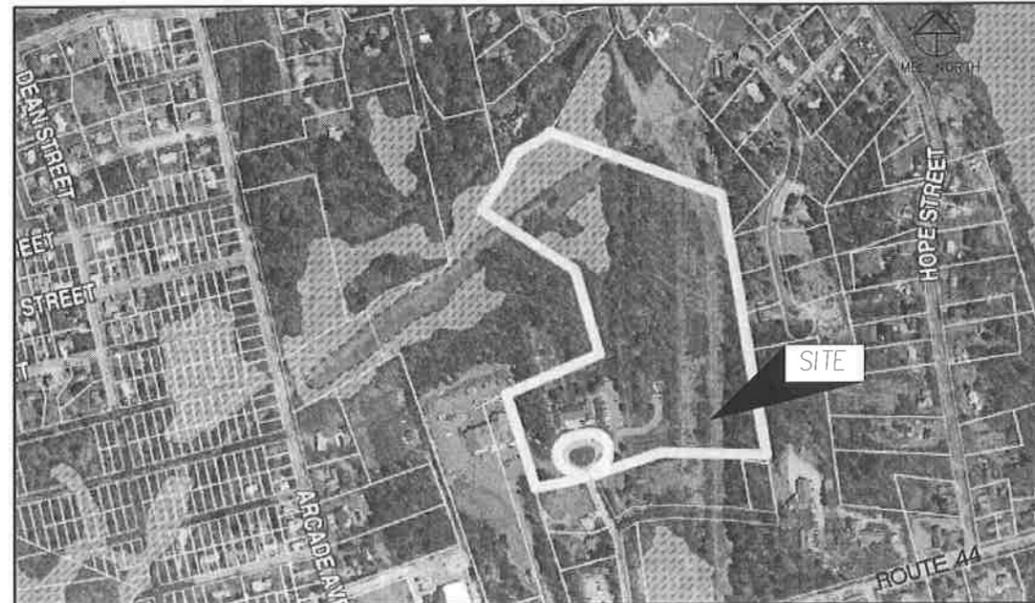
REQUEST FOR DETERMINATION OF APPLICABILITY / SITE PLAN APPROVAL / ADDENDUM No.1

ASSESSOR'S PLAT 18 BLOCK 0000 LOT 0011.0 100 PECK STREET SEEKONK, MASSACHUSETTS

JUNE 26, 2013 REVISED AUGUST 26, 2013

SHEET INDEX

SHEET NO.	SHEET TITLE
C - 1.0	COVER SHEET
C - 2.0	GENERAL NOTES & LEGEND
C - 3.0	EXISTING CONDITIONS PLAN
C - 4.0	LAYOUT, MATERIALS & LANDSCAPE PLAN
C - 5.0	GRADING, DRAINAGE & UTILITY PLAN
C - 6.0	SEDIMENTATION & EROSION CONTROL PLAN
C - 7.0	SEPTIC SYSTEM PLAN
C - 8.0	SEPTIC SYSTEM PLAN
C - 9.0	DETAILS
C - 10.0	DETAILS
C - 11.0	DETAILS
C - 12.0	DETAILS
C - 13.0	SEPTIC SYSTEM DETAILS
C - 14.0	SEPTIC SYSTEM DETAILS
LC.1	SITE LIGHTING CALCULATIONS
C-15.0	LANDSCAPE PLAN



LOCATION MAP

SCALE: N.T.S.

PLANS PREPARED FOR:
THE TOWN OF SEEKONK
100 PECK ST. SEEKONK, MA 02771

PLANS PREPARED BY:

MBL LAND DEVELOPMENT & PERMITTING, CORP.
LAND DEVELOPMENT, TRANSPORTATION AND ENVIRONMENTAL SOLUTIONS
480 TURNPIKE STREET
SOUTH EASTON, MA 02375
P. 508.297.2746 F. 508.297.2756
EMAIL: MBLDP@COMCAST.NET
WEBSITE: www.MBL.comcastbiz.net

PROJECT CONTACTS:

CIVIL ENGINEER/LAND SURVEYOR

MBL LAND DEVELOPMENT & PERMITTING, CORP.
480 TURNPIKE STREET
SOUTH EASTON, MA 02375
P. 508.297.2746
F. 508.297.2756
BRIAN M. DUNN, BSCE, M.ASCE
JAMES E. MILLER, P.E.
bmdunn@mbl.comcastbiz.net
website: MBL.comcastbiz.net

BUILDING COMMITTEE

DAVE BOWDEN, CHAIRMAN
ROBERT J. MCLINTOCK, VICE CHAIRMAN
GAIL ARDITO, Clerk
MIA ALWEN
RICHARD PERRY
JACK VATCHER
JAN TABOR

BOARD OF SELECTMAN

NELSON ALMEIDA, CHAIRMAN
GARY S. SAGAR, VICE CHAIRMAN
MICHAEL H. BRADY, CLERK
DAVID S. PARKER
ROBERT J. MCLINTOCK

Town Administrator

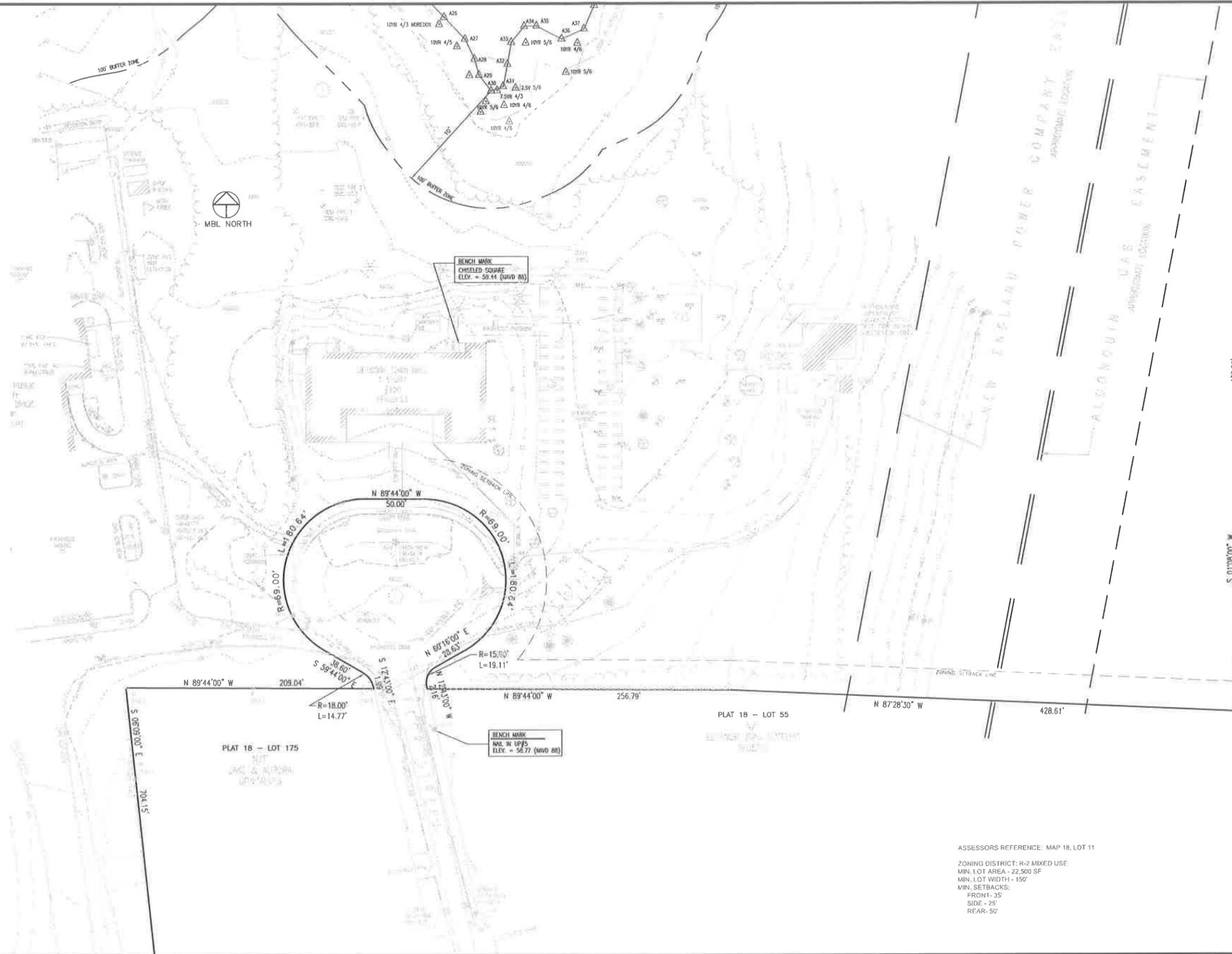
Pamela T. Nolan

PROJ. No.: 2011-032
DATE: June 26, 2013

C-1.0

NOTES

1. THE EXISTING CONDITIONS SHOWN ON THIS PLAN ARE TAKEN FROM PLAN AND SURVEY BY CAPUTO & WICK, INC. OCT. 31, 2008 AND A PORTION OF THE EXISTING CONDITIONS HAS BEEN UPDATED BASED ON AN ON THE GROUND SURVEY BY MBL LAND DEVELOPMENT AND PERMITTING, CORP., PERFORMED 8-13-2013.
2. PERMISSION TO USE THE SURFACE OF THE N. E. POWER EASEMENT MUST BE OBTAINED FROM THE REAL ESTATE DEPARTMENT OF NATIONAL GRID, 40 SYLVAN RD., WALTHAM, MA 02451-1120
3. PREVIOUSLY APPROVED WETLANDS DELINEATION THROUGH THE SEEKONK CONSERVATION COMMISSION UNDER AN ORDER OF CONDITIONS DEP FILE No. SE 69-673, DATE OF ISSUANCE JAN. 13, 2010.



PLAT 18 - LOT 15
W/F
JEFFREY E. JENKINS
TRUSTEE

ASSESSORS REFERENCE: MAP 18, LOT 11
ZONING DISTRICT: R-2 MIXED USE
MIN. LOT AREA - 22,500 SF
MIN. LOT WIDTH - 150'
MIN. SETBACKS:
FRONT - 35'
SIDE - 25'
REAR - 50'

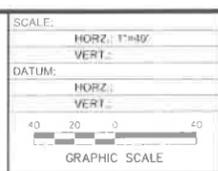
X:\2011\2011-032\CIVIL\PLAT\ADDENDUM-1\2011-032 SR CENTER PLANS 08222013.DWG 8/26/2013 3:35:04 PM EDT

LUCB: MBL VIEW: LUMAR: CTBI:

No.	DATE	DESCRIPTION	BY
4	08/26/2013	ADDENDUM #1	THL
3	08/01/2013	ISSUED FOR BIDDING	THL
2	07/18/2013	PER PB MTG AND ARCH COMMENTS	BMD
1	07/08/2013	ADDED SHADE TREES PER PB REQUEST	BMD

PROJ. MANAGER:	MBL	SEAL	SEAL
CHIEF DESIGNER:	MBL		
REVIEWED BY:	DATE		

APPLICANT
TOWN OF SEEKONK
BUILDING COMMITTEE
SENIOR CENTER
SEEKONK MASSACHUSETTS



MBL

LAND DEVELOPMENT & PERMITTING, CORP.
140 TURNPIKE STREET, SOUTH EASTON, MA 02575
P-508.297.2748 F-508.297.2756
EMAIL: MBLDLP@COMCAST.NET
WEB: www.mbl.comcast.net

EXISTING CONDITIONS PLAN
SEEKONK SENIOR CENTER
100 PECK STREET
ASSESSORS PLAT 18 BLOCK 0000 LOT 0011.0
SEEKONK MASSACHUSETTS

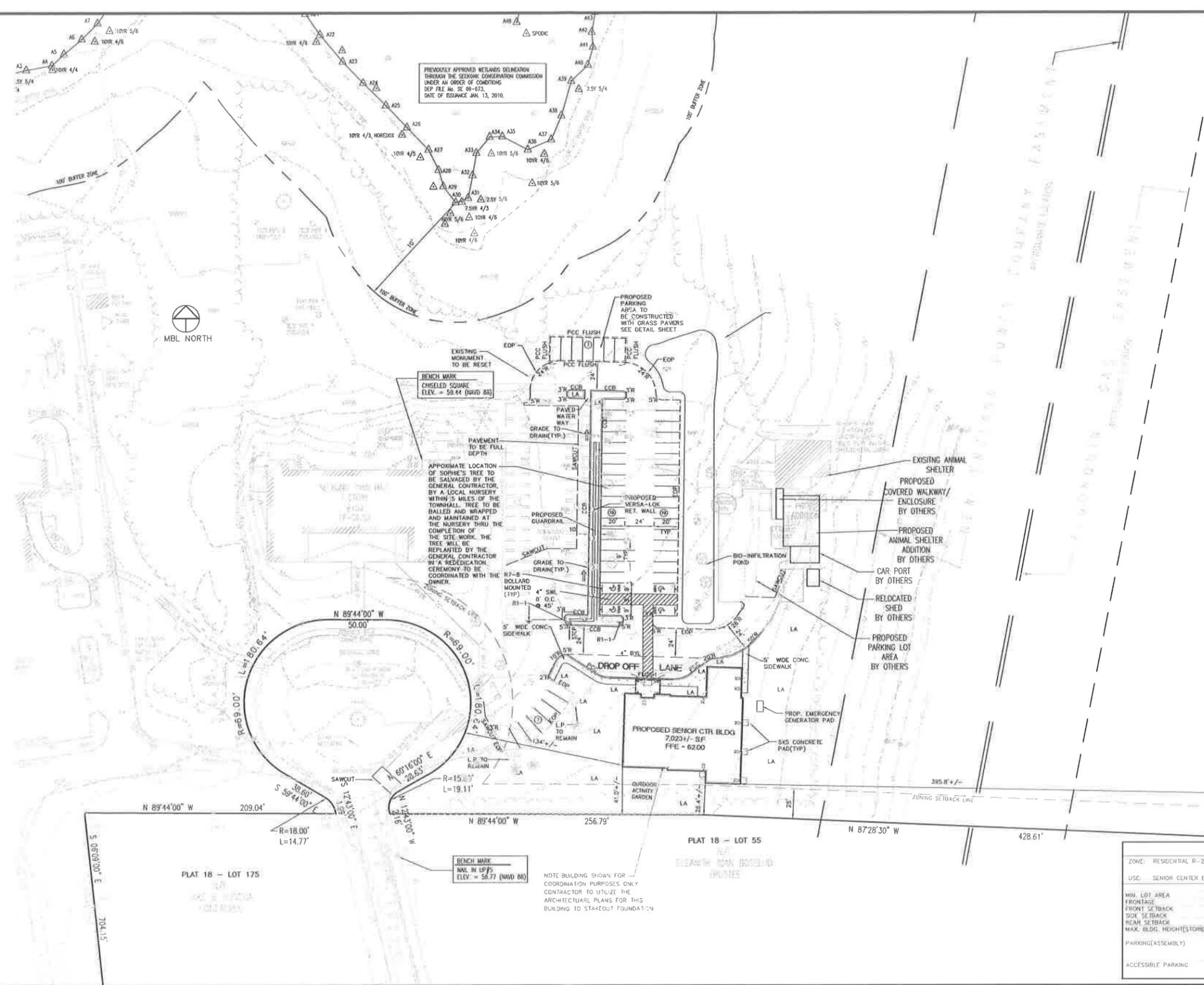
PROJ. No.: 2011-032
DATE: June 26, 2013
C-3.0

NOTES

1. AN APPROVED SEPTIC SYSTEM PLAN MUST BE OBTAINED FROM THE BOARD OF HEALTH PRIOR TO ISSUANCE OF A BUILDING PERMIT.
2. PERMISSION TO USE THE SURFACE OF THE N. E. POWER EASEMENT MUST BE OBTAINED FROM THE REAL ESTATE DEPARTMENT OF NATIONAL GRID, 40 SYLVAN RD., WALTHAM, MA 02451-1120.

THE FOLLOWING RESTRICTIONS WILL APPLY TO THE EASEMENT DURING CONSTRUCTION:

- A. NO MATERIAL STOCKPILES ARE ALLOWED
- B. NO TRAILERS WILL BE PARKED IN THE EASEMENT
- C. NO LOADING/UNLOADING WITHIN THE EASEMENT
- D. MAINTAIN 15' CLEARANCE AROUND POLES



PLAT 18 - LOT 20
N/E
DORSA DEVELOPMENT, LLC

PLAT 18 - LOT 15
N/E
JENNIFER E. BOWEN TRUSTEE

SIGN SUMMARY			
M.U.T.C.D. NUMBER	SPECIFICATION WIDTH	HEIGHT	TEXT
RI-1	24"	24"	STOP

ZONING TABLE		
ZONE: RESIDENTIAL R-2		
USE: SENIOR CENTER BUILDING		
MIN. LOT AREA	REQUIRED 22,000 S.F.	PROVIDED 21,742/245,257 S.F.
FRONTAGE	50 FT.	485.92 FT +/-
FRONT SETBACK	35 FT.	134 FT +/-
SIDE SETBACK	20 FT.	26.4 FT +/-
REAR SETBACK	50 FT.	399.8 FT +/-
MAX. BLDG. HEIGHT (STORIES)	3 STORIES/40 FT.	4 STORY
PARKING (ASSEMBLY)	MIN. 1 SPACE/5 SEATS MAX. 1 SPACE/3 SEATS MIN = 27 MAX = 45	EXIST. SPACES = 44 PROP. SPACES = 45 TOTAL PARKING = 89
ACCESSIBLE PARKING	76-100 = 4 SPACES	EXIST. SPACES = 2 PROP. SPACES = 4 TOTAL ACC. SPACE = 6

X:\2011\2011-032\CIVIL\PLAT\ADDENDUM-1\2011-032_SR_CENTER_PLANS_08222013.DWG B/25/2013 3:35:04 PM EDT
 CTR:
 LMAN:
 JMS VIEW:
 LICE:

No.	DATE	DESCRIPTION	BY
4	08/20/2013	ADDENDUM #1	THL
3	08/01/2013	ISSUED FOR BIDDING	THL
2	07/18/2013	PER PB MTG AND ARCH COMMENTS	BMD
1	07/08/2013	ADDED SHADE TREES PER PB REQUEST	BMD

PROJ. MANAGER:	MBL	SEAL	SEAL
CHIEF DESIGNER:	MBL		
REVIEWED BY:	DATE		

APPLICANT
TOWN OF SEEKONK
 BUILDING COMMITTEE
 SENIOR CENTER
 SEEKONK MASSACHUSETTS

SCALE:	HORIZ: 1"=40'
	VERT: _____
DATUM:	HORIZ: _____
	VERT: _____

MBL
 LAND DEVELOPMENT & PERMITTING, CORP.
 480 TURNPIKE STREET
 SOUTH EASTON, MA 02375
 P. 508.297.2746 F. 508.297.2750
 EMAIL: MBL.LDP@COMCAST.NET
 WEB: www.mbl.comcast.biz.net

LAYOUT, MATERIALS & LANDSCAPE PLAN
SEEKONK SENIOR CENTER
 100 PECK STREET
 ASSESSORS PLAT 18 BLOCK 0000 LOT 0011.0
 SEEKONK MASSACHUSETTS

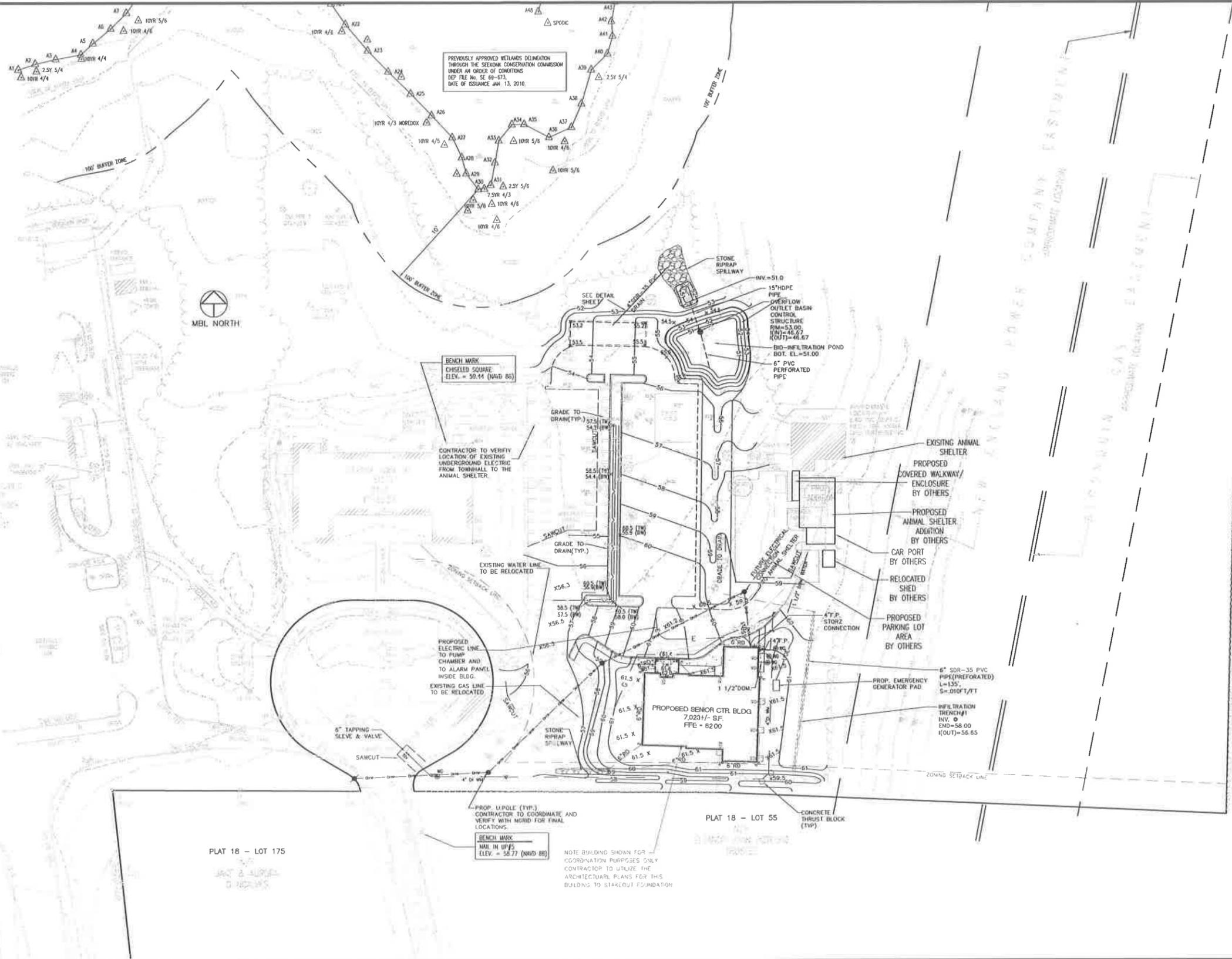
PROJ. No.: 2011-032
 DATE: June 26, 2013
C-4.0

1. AN APPROVED SEPTIC SYSTEM PLAN MUST BE OBTAINED FROM THE BOARD OF HEALTH PRIOR TO ISSUANCE OF A BUILDING PERMIT.

2. PERMISSION TO USE THE SURFACE OF THE N. E. POWER EASEMENT MUST BE OBTAINED FROM THE REAL ESTATE DEPARTMENT OF NATIONAL GRID, 40 SYLVAN RD., WALTHAM, MA 02451-1120.

THE FOLLOWING RESTRICTIONS WILL APPLY TO THE EASEMENT DURING CONSTRUCTION:

- A. NO MATERIAL STOCKPILES ARE ALLOWED
- B. NO TRAILERS WILL BE PARKED IN THE EASEMENT
- C. NO LOADING/UNLOADING WITHIN THE EASEMENT
- D. MAINTAIN 15' CLEARANCE AROUND POLES



PLAT 18 -
DEBORAH DEVEL

PLAT 18 - LOT 15
JEFFREY R. JENKINS
TRUSTEE

PLAT 18 - LOT 175

PLAT 18 - LOT 55

UCS: MS VIEW: DIMAN: CTEB: X:\2011\2011-032\CIVIL\PL01\ADDENDUM-1\2011-032 SR CENTER PLANS 08222013.DWG 8/26/2013 3:35:04 PM EDT

No.	DATE	DESCRIPTION	BY
4	08/26/2013	ADDENDUM #1	THL
3	08/01/2013	ISSUED FOR BIDDING	THL
2	07/18/2013	PER PB MTG AND ARCH COMMENTS	BMD
1	07/08/2013	ADDED SHADE TREES PER PB REQUEST	BMD
REVISIONS			

PROJ. MANAGER:	MBL
CHIEF DESIGNER:	MBL
REVIEWED BY:	DATE

SEAL	SEAL
------	------

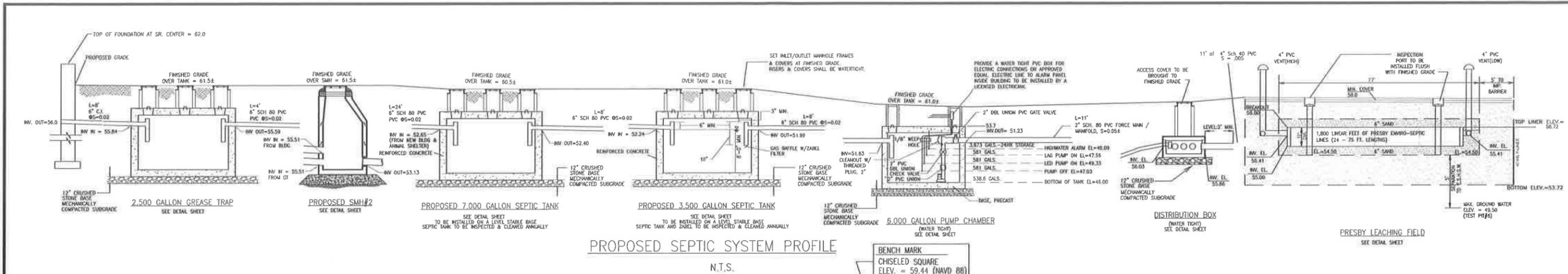
APPLICANT
 TOWN OF SEEKONK
 BUILDING COMMITTEE
 SENIOR CENTER
 SEEKONK MASSACHUSETTS

SCALE:	HORIZ: 1"=40'
	VERT: 1"=4'
DATUM:	HORIZ: 1985
	VERT: 1985
GRAPHIC SCALE	

MBL
 LAND DEVELOPMENT & PERMITTING CORP.
 480 TURNPIKE STREET
 SOUTH EASTON, MA 02375
 P. 508.297.2746 F. 508.297.2758
 EMAIL: MBL.DP@COMCAST.NET
 WEB: www.mbl.comcastbiz.net

GRADING, DRAINAGE & UTILITY PLAN
 SEEKONK SENIOR CENTER
 100 PECK STREET
 ASSESSORS PLAT 18 BLOCK 0000 LOT 0011.0
 SEEKONK MASSACHUSETTS

PROJ. No.: 2011-032
 DATE: June 26, 2013
C-5.0



SEWAGE DISPOSAL SYSTEM NOTES

Design Data

SR CENTER DESIGN FLOW

FUNCTION HALL = 135 SEATS X 150 GAL/DAY = 2,025 GPD (INCLUDES LECTURE AREA)

OFFICE SPACE = 2,620 SF. X (15 GPD/1,000 SF) = 39,300 GPD

NURSE'S OFFICE = 1 X 100 GPD

TOTAL DESIGN FLOW = 2,415 GPD

ANIMAL SHELTER DESIGN FLOW

KENNELS - 16 @ 50 GAL/DAY = 800 GPD

OFFICE & WAITING AREA 1,280 SF X 75 GPD/1,000 SF = 95 GPD (MIN PER TITLE V = 200 GPD)

TOTAL DESIGN FLOW OF SR CENTER AND ANIMAL SHELTER = 3,475 GPD

SEPTIC TANK

FOR 48 HR STORAGE, 3,475 GPD + 200% = 8,950 GALLONS USE 7,000 GALLON TANK

REQUIRED

MIN 7,000 GPD FOR 1ST TANK OR COMP

3,475 GPD FOR 2D TANK OR COMP

COMPARTMENT #2 = 1 DAY X 3,475 GPD USE 3,500 GALLON TANK

USE 8 HEAVY DUTY TANKS PROVIDED

1ST TANK = 7,000 GALLON

2D TANK = 3,500 GALLON

GREASE TRAP

SIZED BASED ON 24 HOUR FLOW FROM FUNCTION HALL SEATING

REQUIRED

FLOW = 2,025 GPD USE 2,500 GALLON GREASE TRAP

LEACHING AREA

CLASS 1 SOILS

REQUIRED

3,475 GPD / 0.74 GPD/SF = 4,695.84 SF REQUIRED OR 4,685 SF

- PRESBY GENERAL NOTES**
- All piping for the presby system shall be AS SHOWN ON THE PLANS, with water tight joints (not applicable to specified Presby piping)
 - Design Calculations: System dimensions determined from the Company's Massachusetts Enver-Septic Wastewater Treatment System Data Reference Guide Table A Linear Footage = peric rate 1-10 m/m/min, 100 GPD requires 50' of pipe Table C: Length & Man, 75' pipe lengths @ 1.52' / 5C requires 33' min field width
 - The system shall be inspected annually by an operator trained by the Company. Results of the inspections must be submitted to the approving authority.
 - The system must be installed by a person trained by the Company.
 - Prior to the issuance of a Certificate of Compliance, the System Owner shall record of the appropriate Registry of Deeds a statement disclosing both the existence of an alternative septic system subject to General Use Approval on the property and DEP's approval of the system.
 - 3.475gpd/100 gal/50' = 1,737.5 feet of pipe required At 75' length, 1,737.5' requires 23.16 or 24 lines (both of field with 24 lines @ 1.5' OC = 367' 1" each side = 38')
 - Construct sewage disposal system on designed and in accordance with the State Environmental Code - Title 5 and the Rules and Regulations of the State Board of Health, as applicable to new designs.
 - Presby System to be installed in accordance with product design and installation manual, state and local regulations for product information or the nearest dealer, contact Presby Environmental, Inc. 143 Airport Road, Whiteland, NH 03298, Phone 1-800-473-5298, www.PresbyEnvironmental.com
 - Minimum of 6" of medium to coarse sand, with less than 2% passing a #20 sieve, required ground circumference of manhole pipes (See design and installation manual for complete sand and fill specifications.) Contractor must provide "Ball of Loading" to Owner and Local Authority (BOH) concerning sand

- GENERAL CONSTRUCTION REQUIREMENTS FOR ALL SYSTEM COMPONENTS**
- (1) ALL TANKS, INCLUDING SEPTIC TANKS, DISTRIBUTION BOXES, DOSING CHAMBERS AND GREASE TRAPS SHALL BE EITHER:
 - (A) WATER-TIGHT THROUGH MANUFACTURER'S SPECIFICATION AND WARRANTY, OR
 - (B) MADE WATER-TIGHT BY MANUFACTURER, EQUIPMENT SUPPLIER OR INSTALLER USING ASPHALT OR SYNTHETIC POLYMER SEALER SPECIFIED BY THE CONCRETE OR SYNTHETIC MATERIAL MANUFACTURER.
 - (C) SHALL BE CAPABLE OF WITHSTANDING VEHICULAR H-20 LOADING

SYSTEM COMPONENT MARKING

Permitted by State Reg 19.201 of the Systems Title 5 Regulations - All system components shall be marked with magnetic marking tape or a comparable means to locate the location (before).

INSPECTION SCHEDULE

1. Before of hole inspection.
2. System inspection just prior to system backfilling.
3. Final grouting inspection.

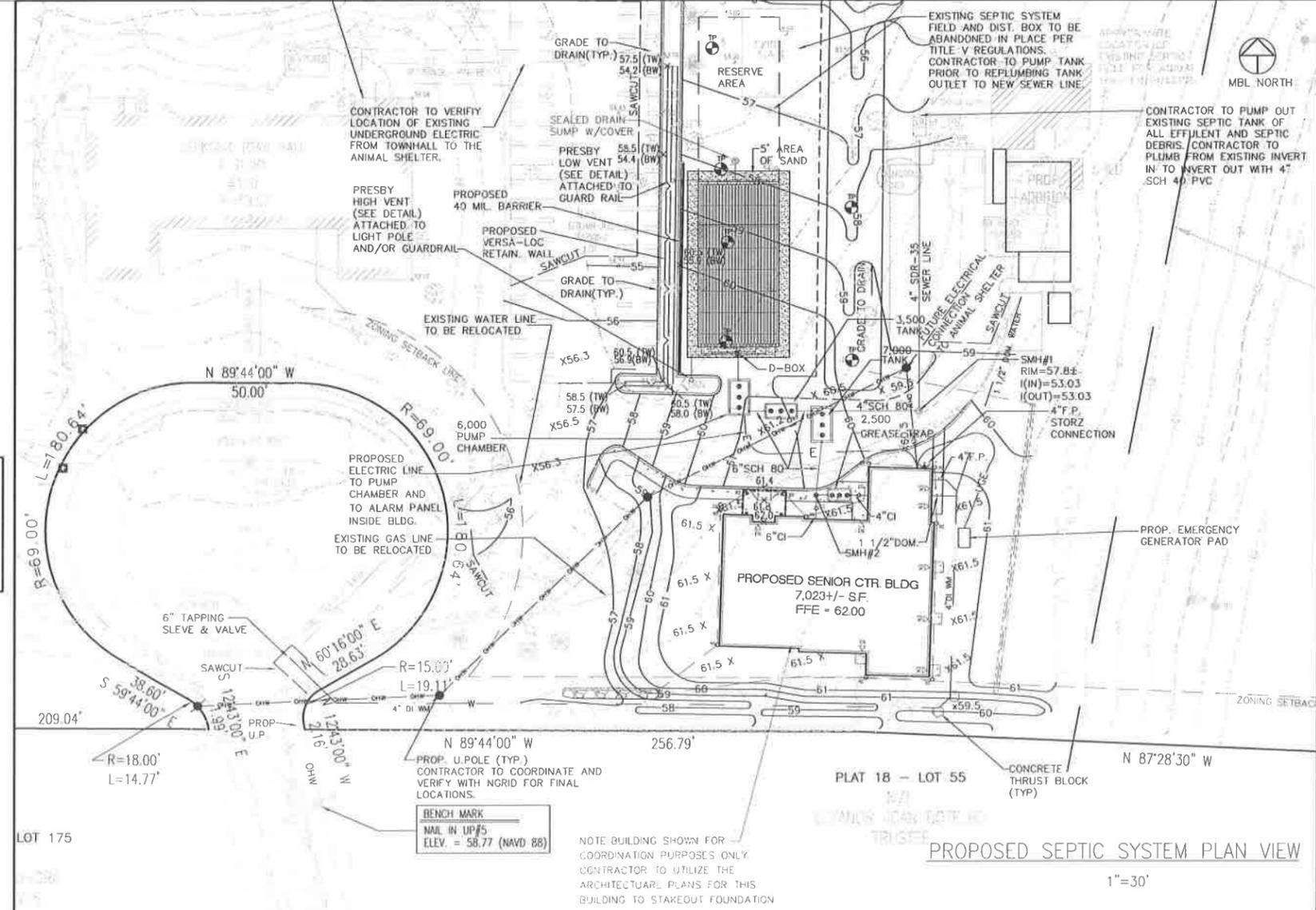
NOTE:

For Design Elevations, Pump Chamber Calculations and Test pit information on Septic System Sheet C-8.0

CERTIFICATION

THIS SYSTEM WAS DESIGNED BY BRIAN M. DUNN, CERTIFIED PRESBY ENVIRONMENTAL DESIGNERS, CERT. #B851MAE5

BRIAN M. DUNN



X:\011\2011-032\CIVIL\PILOT\ADDENDUM-1\2011-032_SR_CENTER_PLANS_08222013.DWG 8/26/2013 3:35:04 PM EDT
 CTE:
 LMAN:
 LMS VIEW:
 LUCS

No.	DATE	DESCRIPTION	BY
4	08/26/2013	ADDENDUM #1	THL
3	08/01/2013	ISSUED FOR BIDDING	THL
2	07/18/2013	PER PB MTG AND ARCH COMMENTS	BMD
1	07/08/2013	ADDED SHADE TREES PER PB REQUEST	BMD
REVISIONS			

PROJ. MANAGER:	MBL
CHIEF DESIGNER:	MBL
REVIEWED BY:	DATE

APPLICANT
 TOWN OF SEEKONK
 BUILDING COMMITTEE
 SENIOR CENTER
 SEEKONK MASSACHUSETTS

SCALE:
 HORIZ.: 1"=30'
 VERT.:
 DATUM:
 HORIZ.:
 VERT.:
 GRAPHIC SCALE

MBL
 LAND DEVELOPMENT & PERMITTING, CORP.
 480 TURNPIKE STREET
 SOUTH EASTON, MA 02375
 P: 508.297.2746 F: 508.297.2756
 EMAIL: MBLDLP@COMCAST.NET
 WEB: www.mbl.com/cgi/rlz.net

SEPTIC SYSTEM PLAN
 SEEKONK SENIOR CENTER
 100 PECK STREET
 ASSESSORS PLAT 18 BLOCK 0000 LOT 0011.0
 SEEKONK MASSACHUSETTS

PROJ. No.: 2011-032
 DATE: June 26, 2013

C-7.0

OBSERVATION HOLE DATA

INDICATES PERCOLATION TEST

TEST PIT # 1 GRD. EL. 54.78 TEST BY: JIM MILLER
GW. EL. 47.78 WITNESSED BY: BETH HALLAL
DATE: 05-29-11 MOTTUNG: EL. N/A CERTIFIED BY: JIM MILLER

ELEV.	SURFACE DEPTH (ft)	SOIL TEXTURE	SOIL COLOR	SOIL MOTTUNG	OTHER
53.92	0-14	A	SANDY LOAM	10YR 3/4	
52.78	14-24	B	SAND	10YR 4/6	
44.78	24-120	C	SAND	10YR 7/4	

WATER WEeping @ 84"(47.78) PERC RATE <2 MIN/INCH
WATER STANDING @ 98"(46.78) PERC DEPTH - 44"

TEST PIT # 2 GRD. EL. 54.20 TEST BY: JIM MILLER
GW. EL. 47.78 WITNESSED BY: BETH HALLAL
DATE: 05-29-11 MOTTUNG: EL. N/A CERTIFIED BY: JIM MILLER

ELEV.	SURFACE DEPTH (ft)	SOIL TEXTURE	SOIL COLOR	SOIL MOTTUNG	OTHER
53.20	0-12	A	SANDY LOAM	10YR 3/4	
52.20	12-24	B	SAND	10YR 4/6	
44.20	24-120	C	SAND	2.5YR 7/4	

WATER OBSERVED @ 77"(47.78)

TEST PIT # 3 GRD. EL. 55.10 TEST BY: JIM MILLER
GW. EL. 47.48 WITNESSED BY: BETH HALLAL
DATE: 05-29-11 MOTTUNG: EL. N/A CERTIFIED BY: JIM MILLER

ELEV.	SURFACE DEPTH (ft)	SOIL TEXTURE	SOIL COLOR	SOIL MOTTUNG	OTHER
54.43	0-8	A	SANDY LOAM	10YR 3/4	
53.35	8-21	B	SAND	10YR 4/6	
44.35	21-120	C	SAND	2.5YR 7/4	

WATER OBSERVED @ 87"(47.48) PERC RATE <2 MIN/INCH
PERC DEPTH - 48"

TEST PIT # 4 GRD. EL. 56.90 TEST BY: JIM MILLER
GW. EL. 51.56 WITNESSED BY: BETH HALLAL
DATE: 05-29-11 MOTTUNG: EL. N/A CERTIFIED BY: JIM MILLER

ELEV.	SURFACE DEPTH (ft)	SOIL TEXTURE	SOIL COLOR	SOIL MOTTUNG	OTHER
97.83	0-26	A	SANDY LOAM	10YR 3/4	
95.50	26-42	B	SAND	10YR 4/6	
90.00	42-120	C1	SAND	2.5YR 7/4	
90.00	42-120	C2	FINE SAND	2.5YR 7/4	

WATER OBSERVED @ 64"(51.55)

TEST PIT # 5 GRD. EL. 53.2 TEST BY: JIM MILLER
GW. EL. 48.2 WITNESSED BY: BETH HALLAL
DATE: 08-21-13 MOTTUNG: EL. N/A CERTIFIED BY: JIM MILLER

ELEV.	SURFACE DEPTH (ft)	SOIL TEXTURE	SOIL COLOR	SOIL MOTTUNG	OTHER
	0-10	A	SANDY LOAM	10YR 4/3	
	10-18	B	SANDY LOAM	10YR 3/4	
	18-67	C-1	MED SAND	10YR5/5	
	67-91	C-2	MED SAND	2.5Y7/2	

WATER WEeping @ 80" PERC RATE <2 MIN/INCH
WATER OBSERVED @ 80" PERC DEPTH - 42"

TEST PIT # 6 GRD. EL. 54.5 TEST BY: JIM MILLER
GW. EL. 49.3 WITNESSED BY: BETH HALLAL
DATE: 08-21-13 MOTTUNG: EL. N/A CERTIFIED BY: JIM MILLER

ELEV.	SURFACE DEPTH (ft)	SOIL TEXTURE	SOIL COLOR	SOIL MOTTUNG	OTHER
	0-8	A	SANDY LOAM	10YR 4/3	
	8-14	B	SANDY LOAM	10YR 4/2	
	14-108	C	MED SAND	10YR5/1	

WATER OBSERVED @ 60"

Elevation Schedule

	ELEVATION
TOP OF FOUNDATION - SENIOR CENTER	62.00
SEWER INVERT OUT OF FOUNDATION - SENIOR CENTER	56.00
SEWER INVERT INTO PROP. GREASE TANK	55.84
SEWER INVERT OUT OF PROP. GREASE TANK	55.59
SEWER INVERT INTO PROP. SMH	55.51
SEWER INVERT OUT OF PROP. SMH	53.13
SEWER INVERT INTO PROP. SEPTIC TANK#1	52.65
SEWER INVERT OUT OF PROP. SEPTIC TANK#1	52.40
SEWER INVERT INTO PROP. SEPTIC TANK#2	52.24
SEWER INVERT OUT OF PROP. SEPTIC TANK#2	51.99
SEWER INVERT INTO PUMP CHAMBER	51.83
SEWER INVERT OUT OF PUMP CHAMBER	51.63
SEWER INVERT INTO DIST. BOX	56.03
SEWER INVERT OUT OF DIST. BOX	55.86
SEWER INVERT INTO PRESBY FIELD	55.41
BREAKOUT OUT ELEV (TOP OF PRESBY PIPE)	56.00
BOTTOM OF LEACHING FIELD	54.50
WATER TABLE (TP 6 - WEeping)	49.50

Pump Chamber Design Data

TANK SIZE REQUIRED: 4,853 GALLONS
(1,378 + 3,475 GALLONS)

TANK SIZE PROVIDED: 6,000 GAL. TANK
(9' x 16' INSIDE DIMENSIONS; 1,077.2 GALLONS PER FOOT)

DESIGN DOSES PER DAY: 3,475 GPD / 6 DOSES
579.1 GAL/DOSE

NETWORK DRAINBACK VOLUME: 7.21 GALLONS

TOTAL DOSE VOLUME: 586.3 GALLONS

MINIMUM DRAWDOWN: 6-14 INCHES PER PUMP
MANUFACTURER SPECIFICATIONS

FREEBOARD: ALLOW 3 INCH MINIMUM
TO HIGH WATER ALARM

EMERGENCY STORAGE VOLUME: 3,673 GALLONS (3.41 FEET)
ABOVE HIGHWATER ALARM

REQUIRED STORAGE VOLUME: 3,475 GALLONS (3.22 FEET)

TDH = STATIC + FRICTION(HI): 8.31 FT. + 0.32 FT. = 8.63 FT.

Pump and Control Panel Specifications

PROVIDE AN MYERS DUPLEX PUMP CONTROLLER, 115/230 VOLTS, NEMA 4 ENCLOSURE, ELAPSED TIME METERS (2) AND CYCLE COUNTER (2), OR APPROVED EQUAL. MOUNT CONTROL PANEL INSIDE BUILDING AND EQUIP WITH AUDIO/VISUAL HIGH WATER ALARM HORN AND LIGHT.

PROVIDE A DUPLEX SUBMERSIBLE EFFLUENT PUMPING SYSTEM: 2 MYERS PUMPS, MODEL SRM4 SERIES, 4/10 HP, 2" DISCHARGE, 230 VOLT SINGLE-PHASE MOTOR WITH A RATED CAPACITY OF 39.1 GPM AT A TOTAL DYNAMIC HEAD OF 8.63 FEET, OR APPROVED EQUAL.

THE ALARM AND PUMP SHALL BE ON SEPARATE DEDICATED ELECTRICAL CIRCUITS.

ELECTRICAL PERMITS ARE REQUIRED.

ALL WORK SHALL MEET THE STATE ELECTRICAL CODE.

CONTRACTOR/INSTALLER SHALL VERIFY PUMPS ARE SIZED PROPERLY BEFORE ORDERING AND INSTALLING.

CERTIFICATION

THIS SYSTEM WAS DESIGNED BY BRIAN M. DUNN, CERTIFIED PRESBY ENVIRONMENTAL DESIGNERS, CERT. #8851MAES

BRIAN M. DUNN

Bouyancy Calculations

NOTE: ESTIMATED SEASONAL HIGH GROUNDWATER ELEVATION OF 47.78 FEET (WEeping TEST PIT #2 USED FOR CALCULATIONS)

SEPTIC TANK (7,000 GAL) ROTONDO
UPLIFT FORCE:
TANK BOTTOM EL = 47.63 ft
(47.78 ft - 47.53 ft) (10 ft x 17 ft) (62.4 LB/CF) = 2,652 LB
DOWNWARD FORCE:
TANK WEIGHT = 66,400 LB
SOIL WEIGHT = [(57.00 ft - 54.78 ft) ((10 ft x 17 ft) - 2(3.14)(1)(1))] 100 LB/CF = 37,112 LB
TOTAL = 66,400 LB + 37,112 LB = 103,512 LB
103,512 > 2,652 LB. OK.

SEPTIC TANK (3,500 GAL) ROTONDO
UPLIFT FORCE:
TANK BOTTOM EL = 48.04 ft
NO BOUANCY FORCE ACTING UPON TANK - OK

PUMP CHAMBER (6,000 GAL)
UPLIFT FORCE:
TANK BOTTOM EL = 47.05 ft
(47.78 ft - 46.0 ft) (17 ft x 10 ft) (62.4 LB/CF) = 18,862 LB
DOWNWARD FORCE:
TANK WEIGHT = 63,000 LB
SOIL WEIGHT = [(56.00 ft - 55.05 ft) ((10 ft x 17 ft) - 3(3.14)(1)(1))] 100 LB/CF = 15,208 LB
TOTAL = 15,208 LB + 63,000 LB = 78,208 LB
78,208 > 18,862 LB. OK.

LUCS LMS VIEW: LUMANN: CTE: B/26/2013 3:35:04 PM EDT X:\2011\2011-032\CIVIL\PLOT\ADDENDUM-1\2011-032 SR CENTER PLANS 08222013.DWG

No.	DATE	DESCRIPTION	BY
4	08/26/2013	ADDENDUM #1	THL
3	08/01/2013	ISSUED FOR BIDDING	THL
2	07/18/2013	PER PB MTG AND ARCH COMMENTS	BMD
1	07/08/2013	ADDED SHADE TREES PER PB REQUEST	BMD

PROJ. MANAGER:	MBL
CHIEF DESIGNER:	MBL
REVIEWED BY:	DATE

SEAL	SEAL

APPLICANT
TOWN OF SEEKONK
BUILDING COMMITTEE
SENIOR CENTER

SEEKONK MASSACHUSETTS

SCALE:
HORIZ: 1"=30'
VERT: _____

DATUM:
HORIZ: _____
VERT: _____

GRAPHIC SCALE

MBL

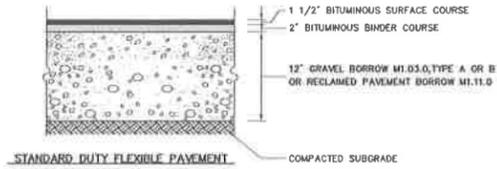
LAND DEVELOPMENT & PERMITTING, CORP.
480 TURNPIKE STREET
SOUTH EASTON, MA 02375
P: 508.297.2746 F: 508.297.2756
EMAIL: MBLDLP@COMCAST.NET
WEB: www.mbl.com/civil/tac

SEPTIC SYSTEM PLAN
SEEKONK SENIOR CENTER
100 PECK STREET
ASSESSORS PLAT 18 BLOCK 0000 LOT 0011.0

SEEKONK MASSACHUSETTS

PROJ. No.: 2011-032
DATE: June 26, 2013

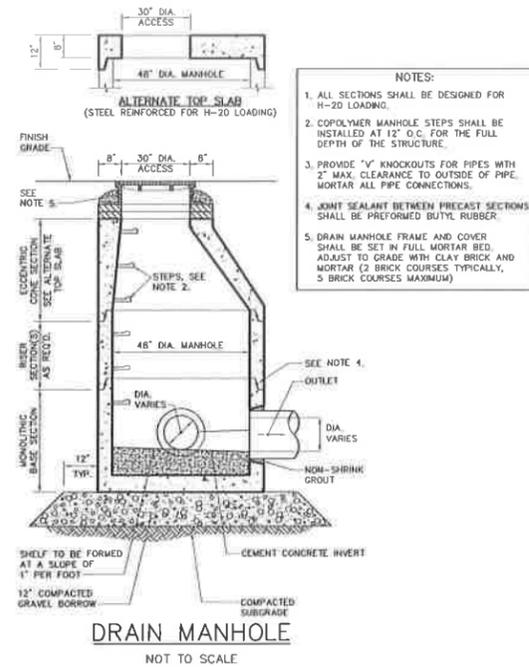
C-8.0



COMPOSITION AND COMPACTION ACCEPTANCE TESTS

1. OBTAIN SAMPLES FROM PLANT TO INDICATE CONFORMANCE WITH M3.11.09
2. PAVEMENT DENSITY AS OUTLINED IN M3.11.09
3. ALL SAMPLES TO BE TAKEN IN ACCORDANCE WITH AASHTO T230
4. MATERIALS SHALL MEET OR EXCEED THE REQUIREMENTS SPECIFIED IN SECTION M3.11.00 DIVISION III, MATERIALS AND THE FOLLOWING SUBSECTIONS:
 - MINERAL AGGREGATE - M3.11.04 BITUMINOUS MATERIALS - M3.11.06
 - MINERAL FILLER - M3.11.05 COMPOSITION OF BASE COURSE - M3.11.02
5. THE BITUMINOUS CONCRETE BASE COURSE SHALL BE CONSTRUCTED IN ACCORDANCE WITH RELEVANT SECTIONS/PROVISIONS OF SECTION 460 FOR CLASS I BITUMINOUS CONCRETE PAVEMENT, TYPE I-1
6. CLASS I BITUMINOUS PAVEMENT TYPE I-1 REQUIRED THE SAME TESTING AS BASE COURSE AND SHALL HAVE A MINIMUM OF 95% COMPACTION. TESTING TO BE COMPLETED BY METHODS OUTLINED IN M3.11.00

BITUMINOUS CONCRETE PAVEMENT SECTIONS
NOT TO SCALE

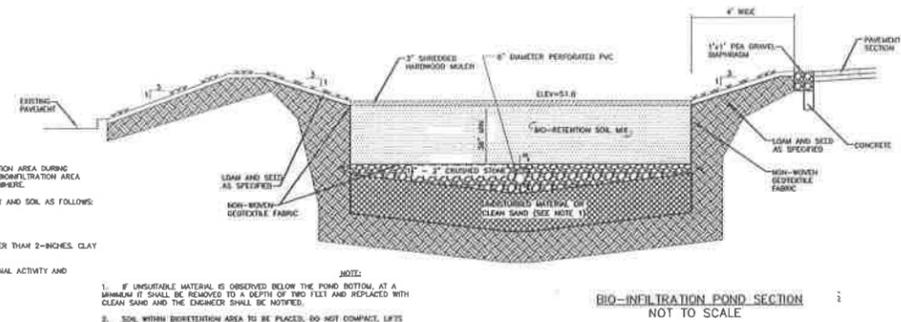


- NOTES:**
1. ALL SECTIONS SHALL BE DESIGNED FOR H-20 LOADING.
 2. COPOLYMER MANHOLE STEPS SHALL BE INSTALLED AT 12\"/>

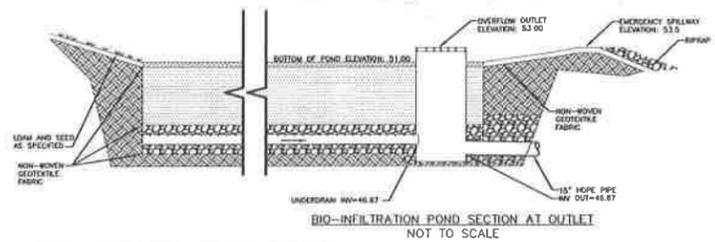
BIOINFILTRATION AREA NOTES:

- THE CONTRACTOR IS ADVISED TO AVOID EXCESSIVELY COMPACTING SOILS AROUND THE BIOINFILTRATION AREA DURING CONSTRUCTION TO MINIMIZE SEDIMENT LOADING IN THE TREATMENT AREA. DIRECT RUNOFF TO THE BIOINFILTRATION AREA ONLY FROM AREAS THAT ARE FULLY STABILIZED AND ALWAYS DIRECT CONSTRUCTION RUNOFF ELSEWHERE.
- A) THE PLANTING SOIL MIX FOR BIOINFILTRATION AREAS SHOULD BE A MIXTURE OF SAND, COMPOST AND SOIL AS FOLLOWS:
 - 1) 40% SAND
 - 2) 20% SOIL TOPSOIL
 - 3) 30-40% COMPOST
 - B) THE SOIL MIX MUST BE UNIFORM, FREE OF STONES, STUMPS, ROOTS OR SIMILAR OBJECTS LARGER THAN 2-INCHES. CLAY CONTENT SHOULD NOT EXCEED 5%.
 - C) SOIL PH SHOULD GENERALLY BE BETWEEN 5.5 AND 6.5, A RANGE THAT IS OPTIMAL FOR MICROBIAL ACTIVITY AND ADSORPTION OF NITROGEN, PHOSPHORUS AND OTHER POLLUTANTS.
 - D) USE SOILS WITH 1.5% - 3% ORGANIC CONTENT AND MAXIMUM 500-PPM SOLUBLE SALTS.
 - E) THE SAND COMPONENT SHOULD BE GRAVELY SAND THAT MEETS ASTM D 422 AND FOLLOWS THE FOLLOWING:

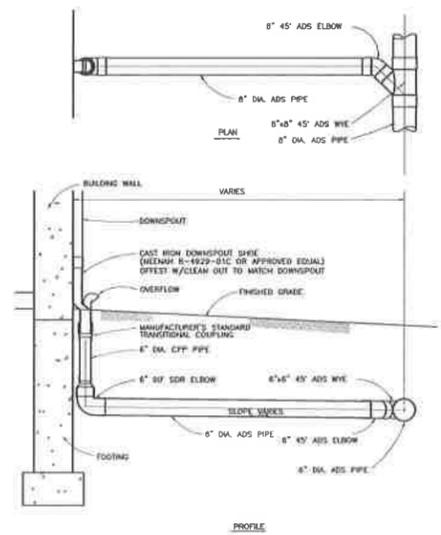
SIZE SIZE	PERCENT PASSING
2-INCH	100
3/4-INCH	70-100
1/4-INCH	20-60
U.S. NO. 60	15-40
U.S. NO. 200	10-3
 - F) THE TOPSOIL COMPONENT SHALL BE SANDY LOAM, LOAMY SAND OR LOAM TEXTURE. THE COMPOST SHALL NOT CONTAIN BIOSOLIDS.
 - G) ON-SITE SOIL MIXING OR PLACEMENT IS NOT ALLOWED IF THE SOIL IS SATURATED OR SUBJECT TO WATER WITHIN 48 HOURS. COVER AND STORE SOIL TO PREVENT WETTING OR SATURATION.
 - H) TEST SOIL FOR FERTILITY AND MICRO-NUTRIENTS AND ONLY IF NECESSARY, AMEND MIXTURE TO CREATE OPTIMUM CONDITIONS FOR PLANT ESTABLISHMENT AND EXCELLENT GROWTH.
 - I) A COMPLETE LIST OF PLANT SPECIES SUITABLE FOR USE IN BIOINFILTRATION AREA IS LISTED IN TEN MAREP STORMWATER HANDBOOK, VOLUME 2 CHAPTER 2.



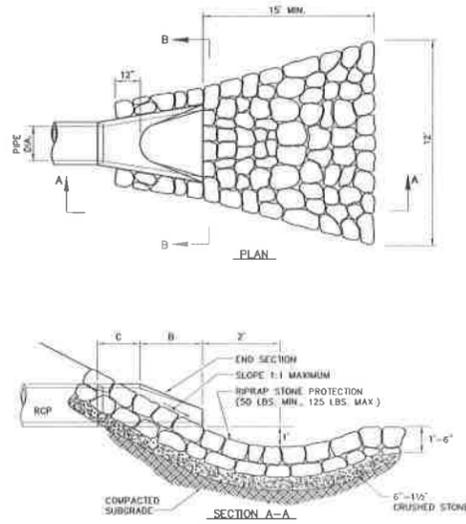
- NOTES:**
1. IF UNSUITABLE MATERIAL IS OBSERVED BELOW THE POND BOTTOM, AT A MINIMUM IT SHALL BE REMOVED TO A DEPTH OF TWO FEET AND REPLACED WITH CLEAN SAND AND THE ENGINEER SHALL BE NOTIFIED.
 2. SOIL WITHIN BIOINFILTRATION AREA TO BE PLACED. DO NOT COMPACT. LEAFS TO BE LIGHTLY WATERED TO ENCOURAGE NATURAL COMPACTION.
 3. ALL STONE MATERIAL SHALL BE DOUBLE WASHED.



BIO-INFILTRATION POND
NOT TO SCALE



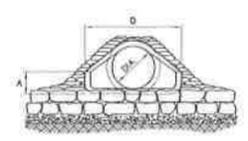
ROOF DRAIN DETAIL
NOT TO SCALE



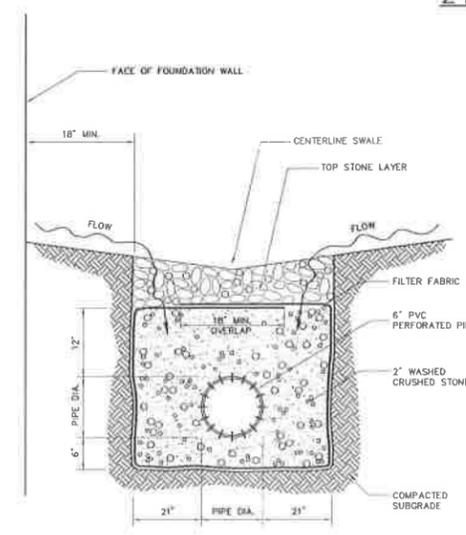
FLARED END SECTION W/OUTLET PROTECTION
NOT TO SCALE

DIMENSIONAL TABLE

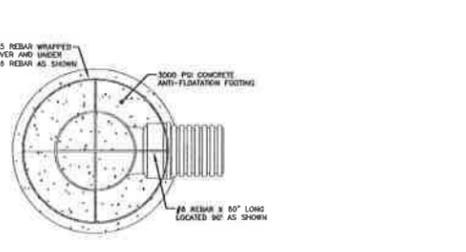
PIPE DIA.	A	B	C	D	E	R
12"	4"	2'-0"	4'-7 1/2"	2'-0"	2'	9"
15"	6"	2'-3"	3'-10"	2'-6"	2 1/4"	11"
18"	9"	2'-3"	3'-10"	3'-0"	2 1/4"	12"
24"	9 1/2"	3'-7 1/2"	2'-6"	4'-0"	3"	14"
30"	12"	4'-6"	1'-7 3/4"	5'-0"	3 1/4"	15"
36"	15"	5'-3"	2'-10 3/4"	6'-0"	4"	20"
42"	21"	5'-3"	2'-11"	6'-6"	4 1/2"	22"
48"	24"	6'-0"	2'-2"	7'-0"	5"	22"
54"	27"	5'-5"	2'-11"	7'-6"	5 1/2"	24"
60"	30"	5'-0"	3'-3"	8'-0"	6"	24"



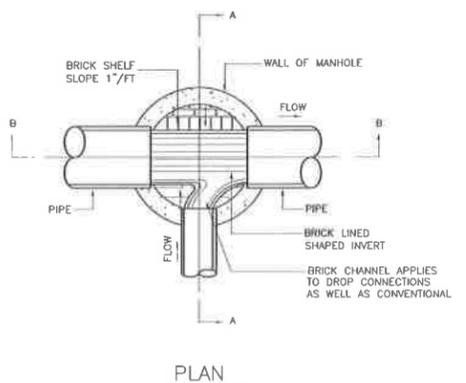
- NOTES:**
1. THE FLARED END SECTION PIPE JOINT SHALL BE SIMILAR TO THE MAIN RUN OF PIPE JOINTS.
 2. FLARED END SECTIONS SHALL CONFORM AS SHOWN IN THE TABLE OR AS APPROVED BY THE ENGINEER.



INFILTRATION TRENCH DRAIN
NOT TO SCALE



24\"/> NYLOPLAST DRAIN BASIN CONTROL STRUCTURE
NOT TO SCALE



SEWER MH CHANNEL DETAIL
NOT TO SCALE

X:\2011\2011-032\CIVIL\PLANS\ADDENDUM-1\2011-032 SR CENTER PLANS DB222013.DWG B/26/2013 3:35:04 PM EDT
 UCS
 MS VIEW
 LMAN
 CTEB

No.	DATE	DESCRIPTION	BY
4	08/26/2013	ADDENDUM #1	THL
3	08/10/2013	ISSUED FOR BIDDING	THL
2	07/18/2013	PER PB MTG AND ARCH COMMENTS	BMD
1	07/08/2013	ADDED SHADE TREES PER PB REQUEST	BMD

PROJ. MANAGER:	MBL	SEAL	SEAL
CHIEF DESIGNER:	MBL		
REVIEWED BY:	DATE		

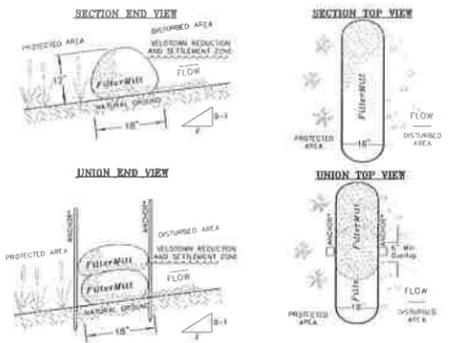
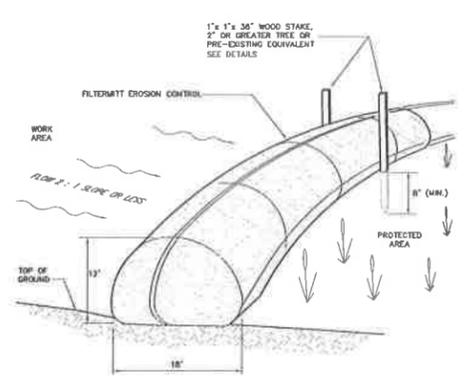
APPLICANT
TOWN OF SEEKONK
 BUILDING COMMITTEE
 SENIOR CENTER
 MASSACHUSETTS

SCALE:
 HORIZ.: N.T.S.
 VERT.:
 DATUM:
 HORIZ.:
 VERT.:
 GRAPHIC SCALE

MBL
 LAND DEVELOPMENT & PERMITTING, CORP.
 480 TURNPIKE STREET
 SOUTH EASTON, MA 02375
 P. 508.297.2746 F. 508.297.2756
 EMAIL: MBLDLP@COMCAST.NET
 WEB: www.mblcomcast.net

DETAILS
SEEKONK SENIOR CENTER
 100 PECK STREET
 ASSESSORS PLAT 18 BLOCK 0000 LOT 0011.0
 SEEKONK MASSACHUSETTS

PROJ. No.: 2011-032
 DATE: June 26, 2013
C-9.0

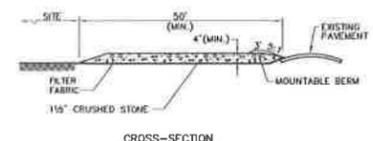
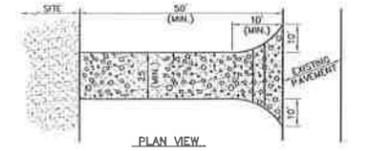


Filter Mitt Components:
 OUTSIDE CASING: 100% organic fiber
 FILLER INGREDIENT: FiberRed Mulch
 A blend of coarse and fine compost and shredded wood
 Particle size: 100% passing a 3" screen; 90-100% passing a 1" screen; 70-100% passing a 0.75" screen; 30-75% passing a 0.25" screen
 Weight: Approx. 850 lbs/cu yd (Ave. 30 lbs./ft.)

Filter Mitt Installation:
 With the latest technology and equipment, sections can be constructed on site in lengths from 1' to 100'.
 Sections can also be delivered to the site in lengths from 1' to 8'.
 The flexibility of FILTER MITT allows it to conform to any contour or terrain while holding a slightly oval shape of 12" high by 18" wide.
 Where section ends meet, there shall be an overlap of 6" or greater. Both sides shall be anchored (pik stakes, trees, etc.) to stabilize the union.

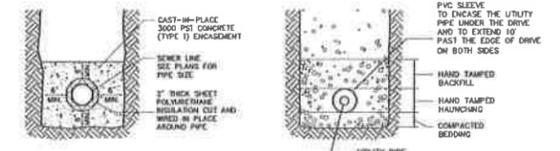
For more information visit:
www.erosioncontrolproducts.com
 or contact us at:
www.erosioncontrolproducts.com
 P.O. Box 731
 Westport, MA 01091
 (508) 564-7140

FILTER MITT EROSION CONTROL DETAIL
 NOT TO SCALE



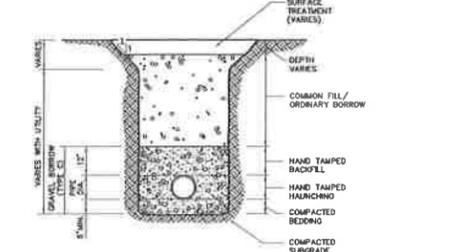
NOTES:
 1. ENTRANCE WIDTH SHALL BE A TWENTY-FIVE (25) FOOT MINIMUM, BUT NOT LESS THAN THE FULL WIDTH AT POINTS WHERE INGRESS OR EGRESS OCCURS.
 2. THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION WHICH SHALL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC RIGHTS-OF-WAY. THIS MAY REQUIRE PERIODIC TOP DRESSING WITH ADDITIONAL STONE AS CONDITIONS DEMAND AND REPAIR OR CLEANOUT OF ANY MEASURES USED TO TRAP SEDIMENT. ALL SEDIMENT SPILLED, DROPPED, WASHED OR TRACKED ONTO PUBLIC RIGHTS-OF-WAY MUST BE REMOVED IMMEDIATELY. BERM SHALL BE PERMITTED. PERIODIC INSPECTION AND MAINTENANCE SHALL BE PROVIDED AS NEEDED.

STABILIZED CONSTRUCTION ENTRANCE DETAIL
 NOT TO SCALE

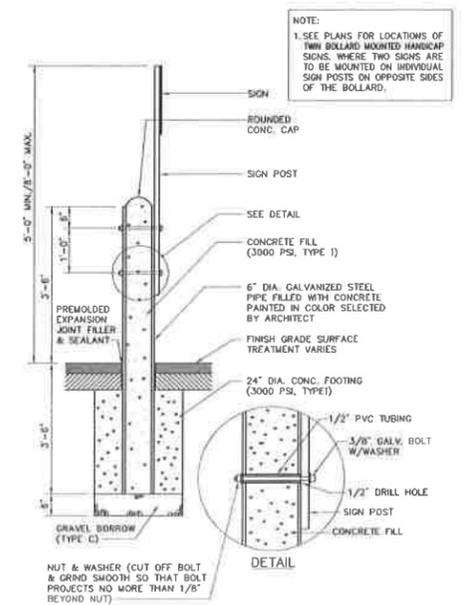


PIPE INSULATION:
 SEWER LINE SHALL BE INSULATED WHEN MINIMUM COVER AS REQUIRED CANNOT BE ACHIEVED. MINIMUM COVER REQUIREMENT SHALL BE DETERMINED BY THE LOCAL RESTRICTIVE REGULATION, LOCAL OR STATE.

PIPE SLEEVEING:
 UTILITY LINE SLEEVE SHALL BE INSTALLED FOR WATER AND SEWER LINES SERVICES WHEN THE UTILITY MUST PASS UNDER A PRIVATE PAVED DRIVE. SLEEVE SIZE WILL BE DOUBLE THE UTILITY LINE SIZE IN DIAMETER.

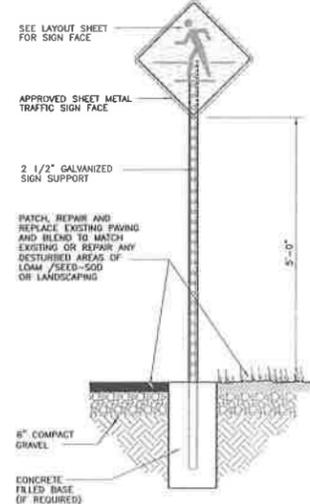


UTILITY TRENCH DETAIL
 NOT TO SCALE

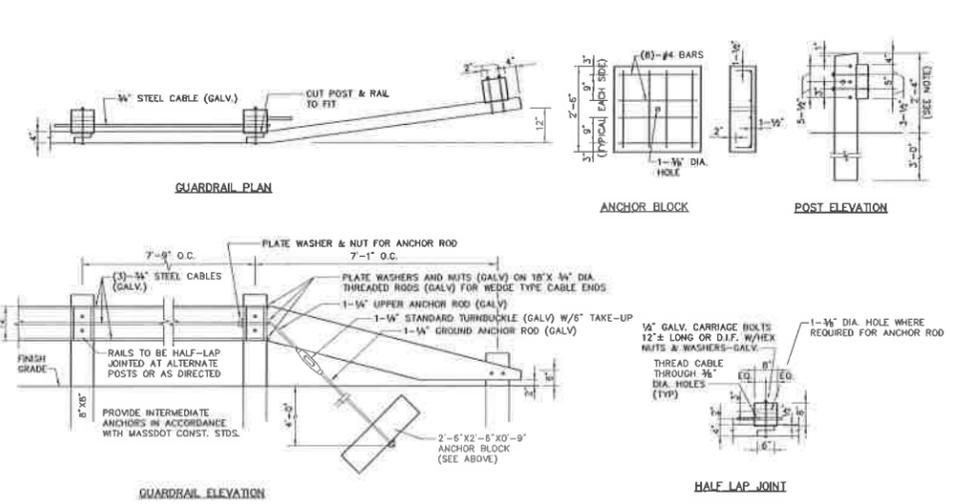
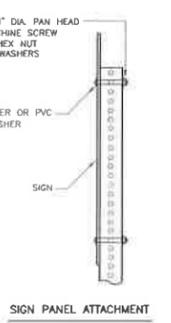
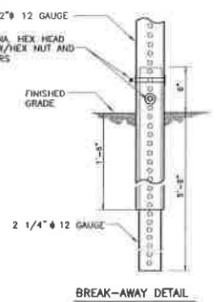


BOLLARD MOUNTED SIGN DETAIL
 NOT TO SCALE

NOTE:
 1. SEE PLANS FOR LOCATIONS OF TWIN BOLLARD MOUNTED HANDICAP SIGNS. WHERE TWO SIGNS ARE TO BE MOUNTED ON INDIVIDUAL SIGN POSTS ON OPPOSITE SIDES OF THE BOLLARD.



TRAFFIC SIGN POST DETAIL
 NOT TO SCALE



1. WOOD RAILS TO BE LONGLEAF YELLOW PINE OR DOUGLAS FIR-STRUCTURAL GRADE OR BETTER.
 2. POSTS TO BE DOUGLAS FIR, OR SPRUCE-STRUCTURAL GRADE OR BETTER.
 3. ALL TIMBERS SHALL BE PRESSURE TREATED.

TIMBER GUARDRAIL DETAIL
 NOT TO SCALE

UCS: MB VIEW: LMAN: DATE: 8/26/2013 3:35:04 PM EDT
 X:\2011\2011-032\CIVIL\PL01\ADDENDUM-1\2011-032 SR CENTER PLANS 08222013.DWG

No.	DATE	DESCRIPTION	BY
4	08/26/2013	ADDENDUM #1	THL
3	08/01/2013	ISSUED FOR BIDDING	THL
2	07/18/2013	PER PB MTG AND ARCH COMMENTS	BMD
1	07/08/2013	ADDED SHADE TREES PER PB REQUEST	BMD
REVISIONS			

PROJ. MANAGER:	MBL	SEAL	SEAL
CHIEF DESIGNER:	MBL		
REVIEWED BY:	DATE		

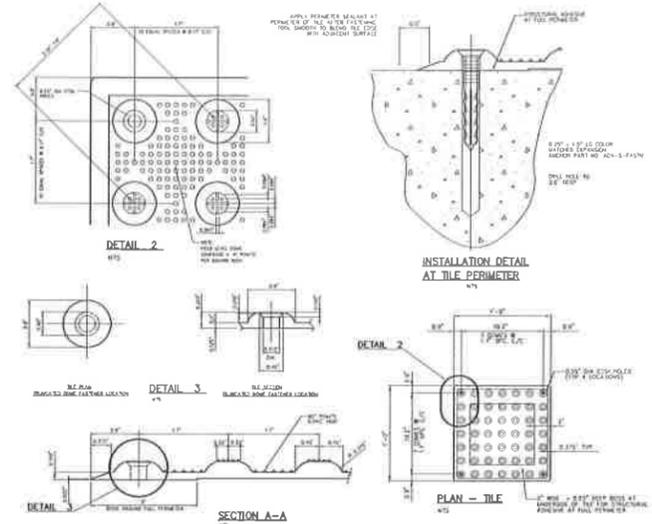
APPLICANT
 TOWN OF SEEKONK
 BUILDING COMMITTEE
 SENIOR CENTER
 SEEKONK MASSACHUSETTS

SCALE:	HORIZ.: N.T.S.
	VERT.:
DATUM:	HORIZ.:
	VERT.:
GRAPHIC SCALE	

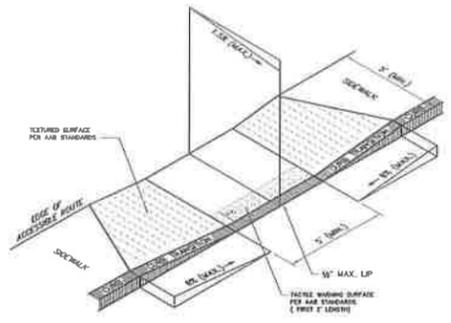
MBL LAND DEVELOPMENT & PERMITTING, CORP.
 480 TURNPIKE STREET
 SOUTH EASTON, MA 02375
 P. 508.297.2746 F. 508.297.2756
 EMAIL: MBLDPA@COMCAST.NET
 WEB: www.mbl.comcastbiz.net

DETAILS
 SEEKONK SENIOR CENTER
 100 PECK STREET
 ASSESSORS PLAT 18 BLOCK 0000 LOT 0011.0
 SEEKONK MASSACHUSETTS

PROJ. No.: 2011-032
 DATE: June 26, 2013
C-11.0



TACTILE WARNING SURFACE
NOT TO SCALE



- NOTES:**
1. THE MAXIMUM ALLOWABLE ROUTE (SIDEWALK) AND CURB RAMP CROSS SLOPES SHALL BE 1.5%.
 2. THE MAXIMUM ALLOWABLE SLOPE OF ACCESSIBLE ROUTE EXCLUDING CURB RAMP SHALL BE 5%.
 3. THE MAXIMUM ALLOWABLE SLOPE OF ACCESSIBLE ROUTE CURB RAMP SHALL BE 5%.
 4. A MINIMUM OF 4 FEET CLEAR SHALL BE MAINTAINED AT ANY PERMANENT OBSTACLE IN ACCESSIBLE ROUTE (I.E. HYDRANTS, UTILITY POLES, TREE WELLS, SIGNS, ETC.).
 5. CURB TREATMENT VARIES. SEE PLANS FOR CURB TYPE.
 6. BASE OF RAMP SHALL BE GRADED TO PREVENT FLOODING.
 7. SEE TYPICAL SIDEWALK SECTION FOR RAMP CONSTRUCTION.

ACCESSIBLE CURB RAMP
NOT TO SCALE

TABLE OF DIMENSIONS

BENDS	B	C	D	E	F	BENDS	B	C	D	E	F
6" 111/4"	8"	15"	12"	24"	12"	6" 45"	8"	30"	12"	24"	14"
6" 221/2"	-	19"	-	13"	6" 90"	-	30"	-	30"	-	27"
8" 111/4"	-	20"	-	12"	8" 45"	-	30"	-	30"	-	24"
8" 221/2"	-	22"	-	17"	8" 90"	-	38"	-	38"	-	36"
12" 111/4"	-	30"	-	15"	12" 45"	-	40"	-	40"	-	40"
12" 221/2"	-	35"	-	25"	12" 90"	-	60"	-	60"	-	52"

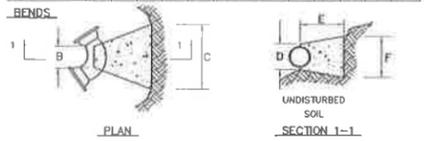
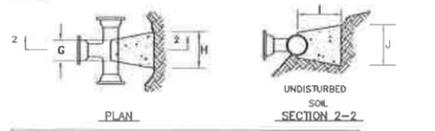


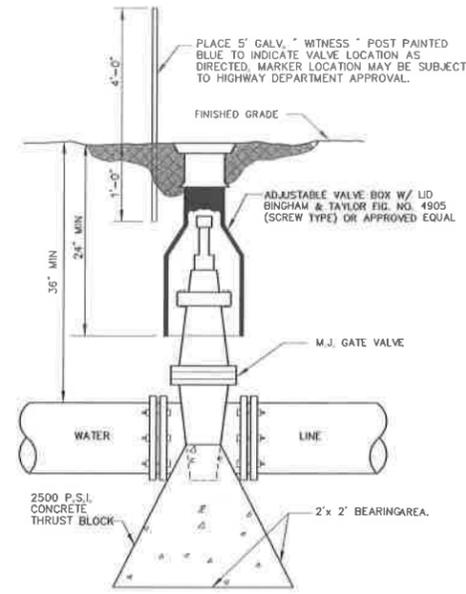
TABLE OF DIMENSIONS

TEES	G	H	I	J	TEES	G	H	I	J
6" x 6" x 6"	12"	24"	24"	16"	12" x 12" x 6"	12"	24"	24"	18"
8" x 8" x 6"	-	-	-	-	12" x 12" x 8"	-	-	-	24"
8" x 8" x 8"	-	-	-	24"	12" x 12" x 12"	-	36"	-	36"

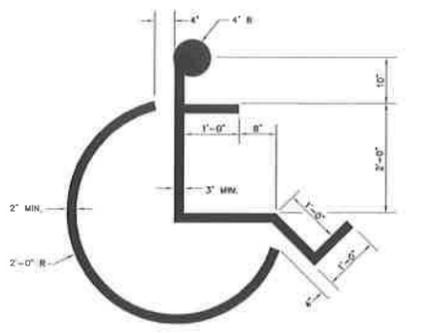


- NOTES:**
1. PROVIDE BLOCKS FOR TAPPING SLEEVES, DEAD ENDS, GATE VALVES, AND VERTICAL BENDS (SAVE SIZE AS REQUIRED FOR TEES). PROVIDE ANCHOR RODS AT VERTICAL BENDS AND GATE VALVES.
 2. CONCRETE SHALL NOT BE PLACED AGAINST PIPE BEYOND FITTING.

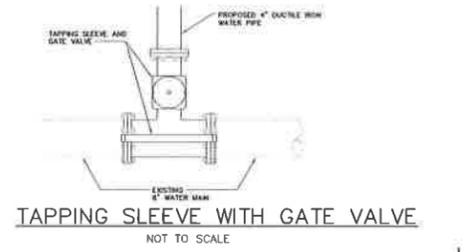
CONCRETE THRUST BLOCK DETAIL
NOT TO SCALE



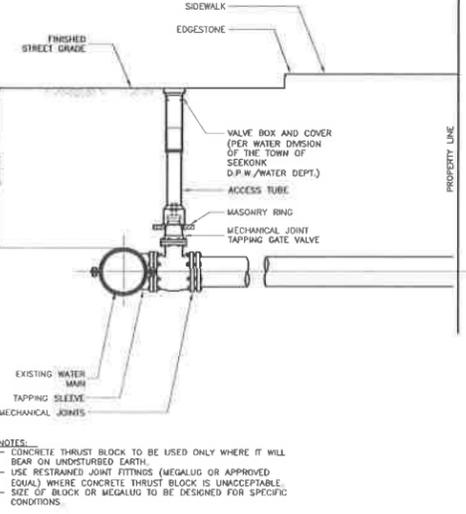
WATER GATE DETAIL
NOT TO SCALE



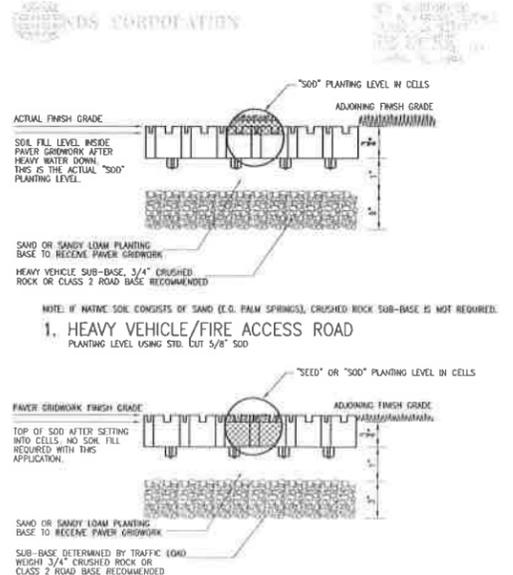
ACCESSIBLE PARKING STALL SYMBOL
NOT TO SCALE



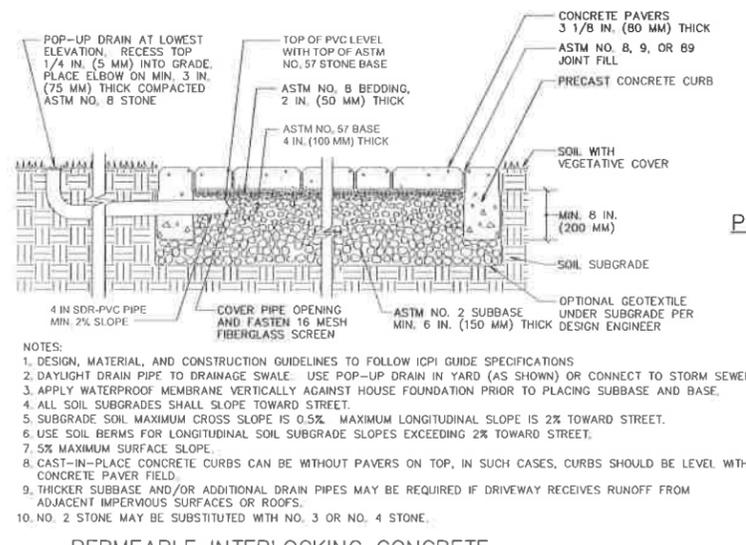
TAPPING SLEEVE WITH GATE VALVE
NOT TO SCALE



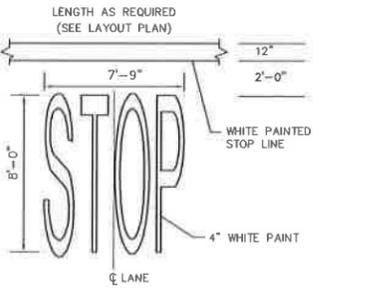
TYPICAL WATER PIPE CONNECTION WITH TAPPING SLEEVE AND GATE VALVE
NOT TO SCALE



PERMEABLE PAVE STONES
NOT TO SCALE



PERMEABLE INTERLOCKING CONCRETE PAVEMENT WITH CONCRETE CURBS
NOT TO SCALE



PAINTED PAVEMENT MARKING
NOT TO SCALE

X:\2011\2011-032 SR CENTER PLANS 08222013.DWG 8/26/2013 3:35:04 PM EDT

No	DATE	DESCRIPTION	BY
4	06/26/2013	ADDENDUM #1	THL
3	08/01/2013	ISSUED FOR BIDDING	THL
2	07/18/2013	PER PB MTG AND ARCH COMMENTS	BMD
1	07/08/2013	ADDED SHADE TREES PER PB REQUEST	BMD
REVISIONS			

PROJ. MANAGER:	MBL	SEAL	SEAL
CHIEF DESIGNER:	MBL		
REVIEWED BY:			

APPLICANT
**TOWN OF SEEKONK
BUILDING COMMITTEE
SENIOR CENTER**

SEEKONK MASSACHUSETTS

SCALE:	HORZ.: N.T.S.
	VERT.: _____
DATUM:	HORZ.: _____
	VERT.: _____
	GRAPHIC SCALE

MBL
LAND DEVELOPMENT & PERMITTING, CORP.
480 TURNPIKE STREET
SOUTH EASTON, MA 02375
P.508.297.2746 F.508.297.2756
EMAIL:MBLLDP@COMCAST.NET
WEB: www.mblcomcastbiz.net

DETAILS
SEEKONK SENIOR CENTER
100 PECK STREET
ASSESSORS PLAT 18 BLOCK 0000 LOT 0011.0

SEEKONK MASSACHUSETTS

PROJ. No.: 2011-032
DATE: June 26, 2013

C-12.0

X:\2011\2011-032\CIVIL\PLOT\ADDENDUM - 1\2011-032_SR_CENTER_PLANS_08222013.DWG 8/26/2013 3:35:04 PM EDT
 LUCS: LMB VIEW: LMAN: CTBL:

DESIGN NOTES:

- Concrete - 5,000 P.S.I. Minimum Strength @ 28 Days
- Steel Reinforcing - ASTM A-615, Grade 60
- Cover to Steel - 1" Minimum
- Tanks are Designed to Meet ASTM C858 and ACI 318 With AASHTO HS-20 Loading
- Earth Cover - 0 to 5 Feet Max.
- Construction Joint - Sealed with 1" Dia. Butyl Rubber or Equivalent
- Approx. Wts: Top Section = 6.1 Tons, Bottom Section = 8.0 Tons

PLAN VIEW

SECTION A-A

SECTION B-B

Oldcastle Precast **CST-2500** 5'-0" x 10'-0" x 7'-8" I.D. GREASE TRAP 2,500 Gallon Capacity

TOP 6.1 Tons

BOTTOM 8.0 Tons

Oldcastle Precast **CST-2500** 5'-0" x 10'-0" x 7'-8" I.D. GREASE TRAP 2,500 Gallon Capacity

DESIGN NOTES:

- Concrete - 5,000 P.S.I. Minimum Strength @ 28 Days
- Steel Reinforcing - ASTM A-615, Grade 60
- Cover to Steel - 1" Minimum
- Tanks are Designed to Meet ASTM C858 and ACI 318 With AASHTO HS-20 Loading
- Earth Cover - 0 to 5 Feet Max.
- Construction Joint - Sealed with 1" Dia. Butyl Rubber or Equivalent

PLAN VIEW

SECTION A-A

SECTION B-B

Oldcastle Precast **CST-3500** 6'-0" x 14'-0" x 6'-9" I.D. Septic Tank 3,500 Gallon Capacity

TOP 9.9 Tons

BOTTOM 8.5 Tons

Oldcastle Precast **CST-3500** 6'-0" x 14'-0" x 6'-9" I.D. Septic Tank 3,500 Gallon Capacity

DESIGN NOTES:

- Concrete - 5,000 P.S.I. Minimum Strength @ 28 Days
- Steel Reinforcing - ASTM A-615, Grade 60
- Cover to Steel - 1" Minimum
- Tanks are Designed to Meet ASTM C858 and ACI 318 With AASHTO HS-20 Loading
- Earth Cover - 0 to 5 Feet Max.
- Construction Joint - Sealed with 1" Dia. Butyl Rubber or Equivalent

PLAN VIEW

SECTION A-A

SECTION B-B

Oldcastle Precast **CST-7000** 9'-0" x 16'-0" x 7'-6" I.D. Septic Tank 7,000 Gallon Capacity

ROOF SLAB 10.5 Tons

SHIM SECTION 3'-0" High 6.1 Tons

SHIM SECTION 3'-6" High 6.9 Tons

BASE 20" High 9.7 Tons

Oldcastle Precast **CST-7000** 9'-0" x 16'-0" x 7'-6" I.D. Septic Tank 7,000 Gallon Capacity

DESIGN NOTES:

- Concrete - 5,000 P.S.I. Minimum Strength @ 28 Days
- Steel Reinforcing - ASTM A-615, Grade 60
- Cover to Steel - 1" Minimum
- Tanks are Designed to Meet ASTM C858 and ACI 318 With AASHTO HS-20 Loading
- Earth Cover - 0 to 5 Feet Max.
- Construction Joint - Sealed with 1" Dia. Butyl Rubber or Equivalent

PLAN VIEW

SECTION A-A

SECTION B-B

Oldcastle Precast **CST-6000** 9'-0" x 16'-0" x 6'-6" I.D. PUMP CHAMBER 6,000 Gallon Capacity

ROOF SLAB 10.5 Tons

SHIM SECTION 2'-6" High 5.2 Tons

SHIM SECTION 3'-0" High 6.1 Tons

BASE 20" High 9.7 Tons

Oldcastle Precast **CST-6000** 9'-0" x 16'-0" x 6'-6" I.D. PUMP CHAMBER 6,000 Gallon Capacity

No.	DATE	DESCRIPTION	BY
4	08/26/2013	ADDENDUM #1	THL
3	08/01/2013	ISSUED FOR BIDDING	THL
2	07/18/2013	PER PB MTG AND ARCH COMMENTS	BMD
1	07/08/2013	ADDED SHADE TREES PER PB REQUEST	BMD

PROJ. MANAGER:	MBL
CHIEF DESIGNER:	MBL
REVIEWED BY:	DATE

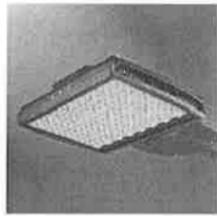
SEAL
 SEAL
 APPLICANT
TOWN OF SEEKONK
BUILDING COMMITTEE
SENIOR CENTER
 SEEKONK MASSACHUSETTS

SCALE:
 HORIZ.: N.T.S.
 VERT.:
 DATUM:
 HORIZ.:
 VERT.:
 GRAPHIC SCALE

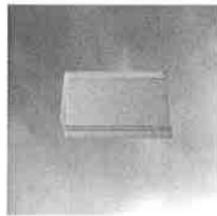
MBL
 LAND DEVELOPMENT & PERMITTING, CORP.
 480 TURNPIKE STREET
 SOUTH EASTON, MA 02375
 P.508.297.2746 F.508.297.2756
 EMAIL: MBLDLP@COMCAST.NET
 WEB: www.mbl.comcastbiz.net

SEPTIC SYSTEM DETAILS
SEEKONK SENIOR CENTER
100 PECK STREET
 ASSESSORS PLAT 18 BLOCK 0000 LOT 0011.0
 SEEKONK MASSACHUSETTS

PROJ. No.: 2011-032
 DATE: June 26, 2013
C-13.0



2 TYPE SL1 & SL2
LC.1 SCALE: NONE



3 TYPE SL4
LC.1 SCALE: NONE

TYPE SL1 & SL2 FIXTURES

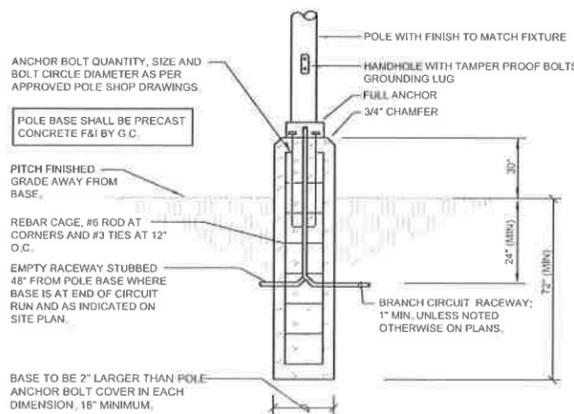
DUSK - 8:00PM: 100% LIGHT OUTPUT
8:00PM - DAWN: 50% LIGHT OUTPUT*

TYPE SL4 FIXTURES

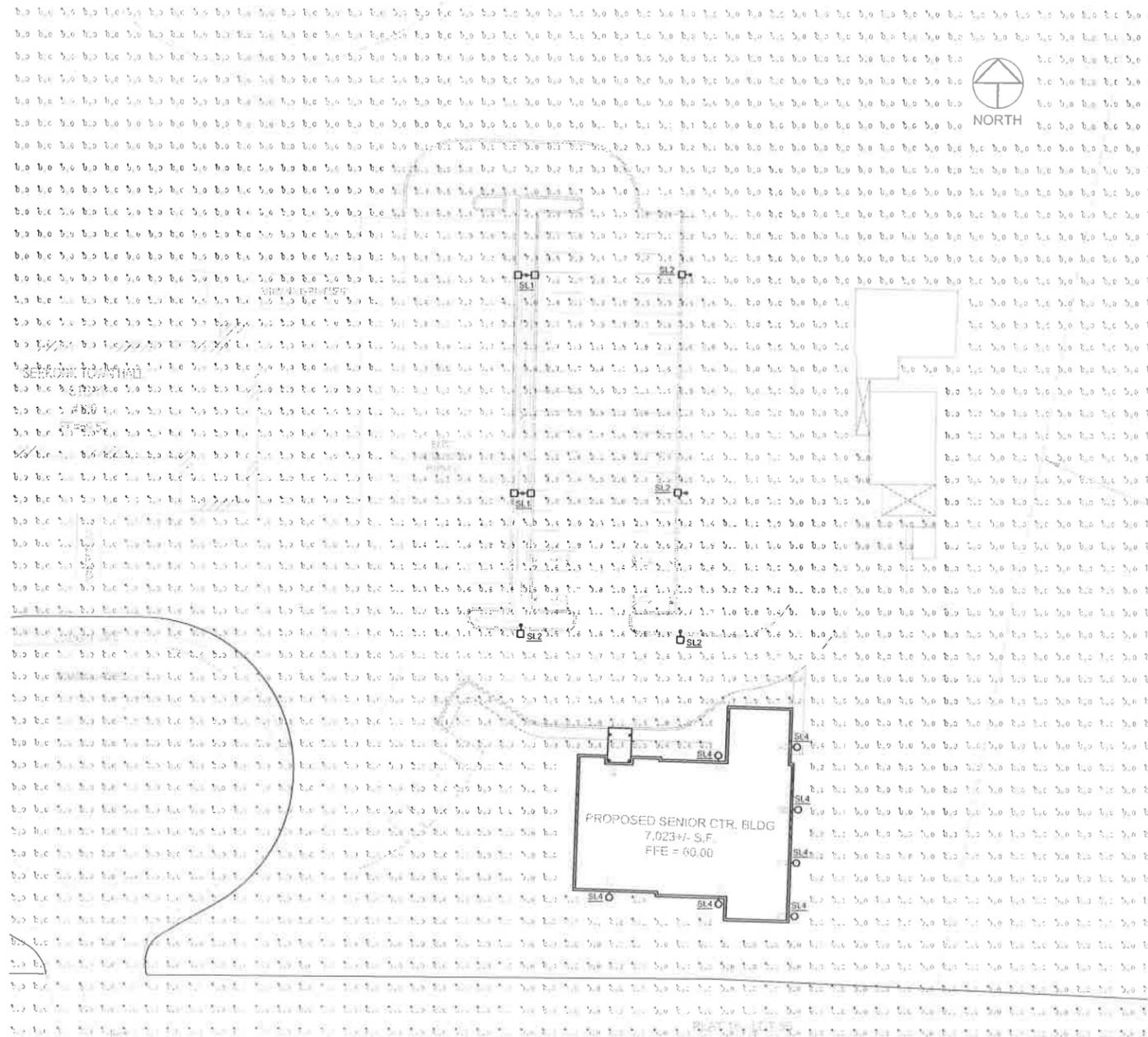
DUSK - DAWN: 100% LIGHT OUTPUT

* OUTPUT REDUCED VIA BI-LEVEL LED DRIVER ON ADJUSTABLE TIME SCHEDULE

4 PROPOSED TIME SCHEDULES
LC.1 SCALE: NONE



5 TYPE SL1 & SL2 POLE BASE DETAIL
LC.1 SCALE: NONE



1 SITE LIGHTING PLAN - PROPOSED LAYOUT & ILLUMINATION VALUES
LC.1 SCALE: 1" = 30'-0"

LIGHTING FIXTURE SCHEDULE										
Symbol	Label	Mounting Height	Lumens	LLF	Description	Watts	Manufacturer	Catalog Number	Lamping	IES Distribution Classification
□-□	SL1	16'-0" A.F.G.	14,358	1.000	Twin Pole Mounted Area	146	McGraw Edison	VTS Series	4000K, LED	Type IV - Full Cutoff (w/ Backlight Control)
○-□	SL2	16'-0" A.F.G.	7,179	1.000	Single Pole Mounted Area	73	McGraw Edison	VTS Series	4000K, LED	Type III - Full Cutoff (w/ Backlight Control)
○	SL4	8'-0" A.F.G.	2,209	1.000	Wall Mounted Area	28	Gardco	111 Series	4000K, LED	Type IV - Full Cutoff

Seekonk Senior Center

Seekonk, Massachusetts

Flansburgh Architects

77 North Washington Street
Boston, Massachusetts 02114
617.367.3970 tel
617.720.7873 fax
www.flansburgh.com

Architecture
Master Planning
Space Planning
Interior Design



GARCIA GALUSKA DESOUSA
CONSULTING ENGINEERS INC
100 STATE STREET, SUITE 200, SEASIDE HEIGHTS, MA 01960
TEL: 508-952-1100 FAX: 508-952-1101
WWW.GGDESIGN.COM

SITE LIGHTING CALCULATIONS

Drawn by: SH Job Number: 1311.00
Checked by: CD Scale: 1" = 30'-0"
Plot Date: 06/20/2013 Issue Date: 06/20/2013

LC.1



Planning Board
100 PECK STREET
SEEKONK, MASSACHUSETTS 02771
1-508-336-2960

To: The Planning Board
From: John P. Hansen Jr., AICP, Town Planner
Date: August 30, 2013

SITE PLAN REVIEW
Longhorn – 100 Highland Ave.

Summary: The applicant has submitted a request for Site Plan Review.

Findings of Fact:

Existing Conditions

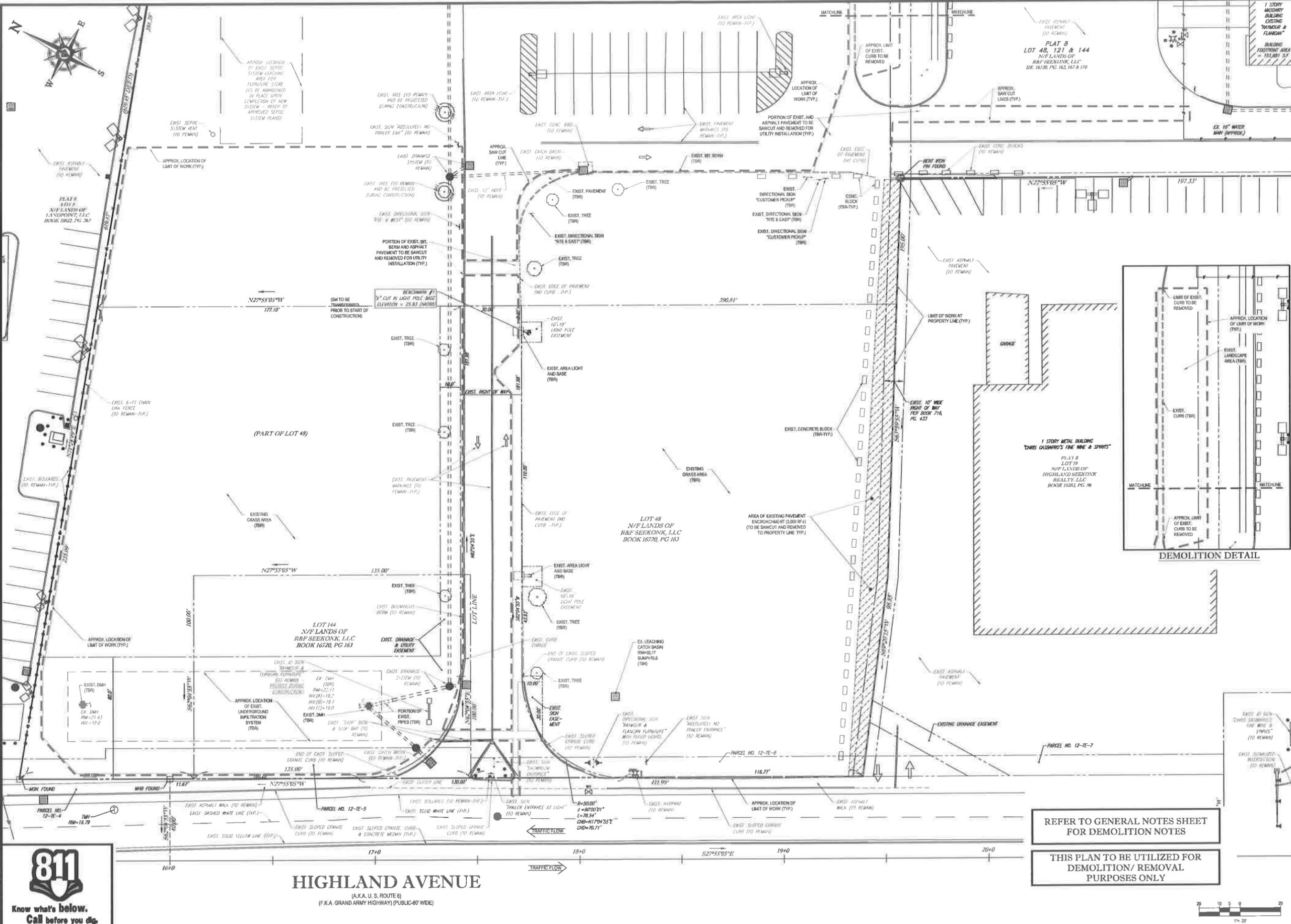
- Raymour & Flanigan furniture store exists on the site.

Proposal:

- Construct a 245 seat Longhorn restaurant within grassed area in front of existing development.
- **Section 10.6.1 - Parking**-180-360 parking spaces required for a 90,000 sf commercial establishment greater than 20,000 sf, 20-24 parking spaces for 20 warehouse employees (largest shift) and 49-82 parking spaces for a 245 seat restaurant (249-466 parking spaces required/451 new spaces proposed with only 89 of those being new spaces and 39 future spaces). **10.6.2 – Drainage** – Infiltration basin proposed; **10.6.3 – Landscaping** - A 10' landscaped buffer around site proposed (10' required); 30% shading of parking areas proposed (30% required); **10.6.4-** Photometric Plan submitted does not show 2.0 footcandles for all parking spaces (2.0 footcandle minimum); **10.6.5**-No drive-thru facility proposed; **10.6.6**-Architectural designs appear to complement existing structures in the area.

Recommendation:

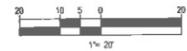
The Board's reviewing engineer has signed off on the proposed project and Staff recommends approval of this Site Plan, latest revision date of 8/9/13.



HIGHLAND AVENUE
 (A.K.A. U.S. ROUTE 6)
 (F.K.A. GRAND ARMY HIGHWAY) (PUBLIC-80' WIDE)

REFER TO GENERAL NOTES SHEET FOR DEMOLITION NOTES

THIS PLAN TO BE UTILIZED FOR DEMOLITION/REMOVAL PURPOSES ONLY



BOHLER ENGINEERING

CORPORATE OFFICE:
 352 TURNPIKE ROAD
 SOUTH BORDEN, MA 01772
 Phone: (508) 480-9000
 Fax: (508) 480-9080
 www.BohlerEngineering.com

OFFICE:
 100 WASHINGTON ST.
 SUITE 100
 BOSTON, MA 02108
 Phone: (617) 552-1100
 Fax: (617) 552-1101

PROJECT MANAGERS:
 SURVEYORS:
 ENVIRONMENTAL CONSULTANTS:
 LANDSCAPE ARCHITECTS:

REGISTERED PROFESSIONAL ENGINEERS:
 MA: 0050000000
 NH: 0000000000
 VT: 0000000000
 CT: 0000000000
 RI: 0000000000
 NY: 0000000000
 NJ: 0000000000
 DE: 0000000000
 PA: 0000000000
 OH: 0000000000
 WV: 0000000000
 KY: 0000000000
 TN: 0000000000
 MS: 0000000000
 AL: 0000000000
 GA: 0000000000
 SC: 0000000000
 NC: 0000000000
 VA: 0000000000
 MD: 0000000000
 DC: 0000000000
 WV: 0000000000
 KY: 0000000000
 TN: 0000000000
 MS: 0000000000
 AL: 0000000000
 GA: 0000000000
 SC: 0000000000
 NC: 0000000000
 VA: 0000000000
 MD: 0000000000
 DC: 0000000000

REVISIONS

REV	DATE	COMMENT	BY
1	4/4/13	REVISED BUILDING	MNB
2	5/30/13	REVISED SITE LAYOUT	MNB
3	6/26/13	FUTURE PARKING AREA	MNB
4	8/16/13	PLANNING BOARD COMMENTS	MNB
5			
6			
7			
8			
9			
10			
11			
12			
13			
14			
15			

PERMIT SET

PROJECT NO.: W0009660
 DRAWN BY: CFD
 CHECKED BY: MNB/LMD
 DATE: 07/27/2012
 SCALE: SEE PLAN
 CAD (D.): W0009660.dwg

PROJECT: SITE PLAN DOCUMENTS FOR

LONGHORN

LOCATION OF SITE:
 LOTS 145, 121 & 144, PLAT 88
 100 HIGHLAND AVENUE
 (A.K.A. U.S. ROUTE 6)
 TOWN OF SEEKONK
 BRISTOL COUNTY
 MASSACHUSETTS

BOHLER ENGINEERING

352 TURNPIKE ROAD
 SOUTH BORDEN, MA 01772
 Phone: (508) 480-9000
 Fax: (508) 480-9080
 www.BohlerEngineering.com

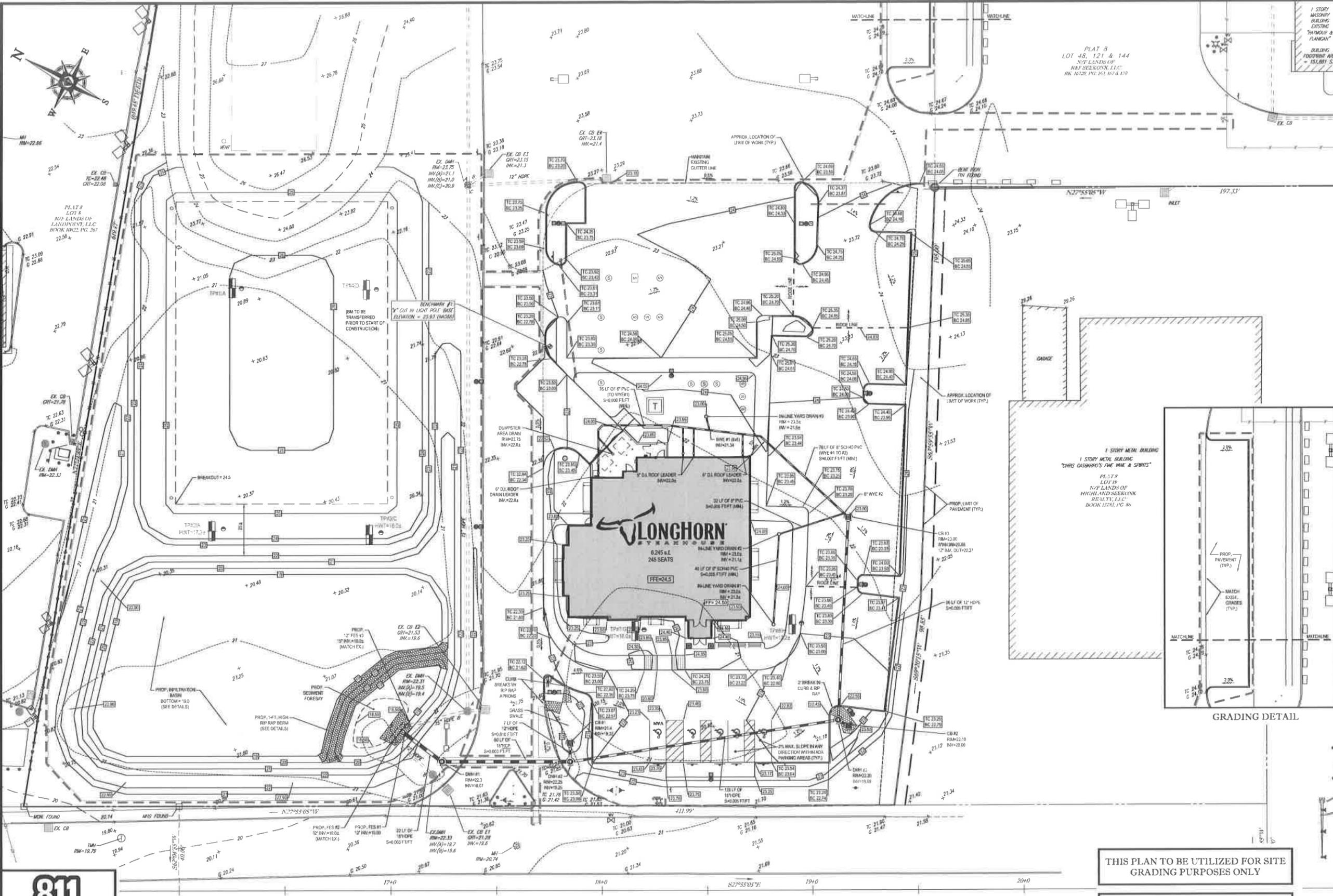
S.P. DECOURSEY

PROFESSIONAL ENGINEER
 MASSACHUSETTS LICENSE NO. 26154
 NEW HAMPSHIRE LICENSE NO. 5008
 VERMONT LICENSE NO. 7110
 CONNECTICUT LICENSE NO. 2288
 RHODE ISLAND LICENSE NO. 7890

SHEET TITLE:
DEMOLITION PLAN

SHEET NUMBER:
3
 OF 14

REV 4 - 06/08/2013



PLAT 8
LOT 48, 121 & 144
N/F LANDS OF
KAY SEEKONK, LLC
BK 1620, PG 163, 167 & 170

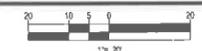
PLAT 8
LOT 8
N/F LANDS OF
LANDPOINT, LLC
BOOK 10022, PG. 267



HIGHLAND AVENUE
(A.K.A. U.S. ROUTE 6)
(F.K.A. GRAND ARMY HIGHWAY) (PUBLIC-60' WIDE)

THIS PLAN TO BE UTILIZED FOR SITE
GRADING PURPOSES ONLY

REFER TO GENERAL NOTES SHEET
FOR GRADING & UTILITY NOTES



BOHLER ENGINEERING
CORPORATE OFFICE
352 TURNPIKE ROAD
SOUTHBOROUGH, MA 01772
PHONE: (508) 480-9900
FAX: (508) 480-9090
WWW.BOHLERENGINEERING.COM

CIVIL & CONSULTING ENGINEERS
SURVEYORS
PROJECT MANAGERS
ENVIRONMENTAL CONSULTANTS
LANDSCAPE ARCHITECTS

OFFICES:
SOUTHBOROUGH, MA
TOWNSEND, MA
ROXBOROUGH, MA
ROXBURY, MA
ROXBOROUGH, MA
ROXBURY, MA
ROXBURY, MA
ROXBURY, MA
ROXBURY, MA
ROXBURY, MA

REV	DATE	COMMENT	BY
1	4/4/13	REVISED BUILDING	MNB
2	5/03/13	REVISED SITE LAYOUT	MNB
3	6/26/13	FUTURE PARKING AREA	MNB
4	8/16/13	PLANNING BOARD COMMENTS	MNB
5			
6			
7			
8			
9			
10			
11			
12			
13			
14			
15			

PERMIT SET	
PROJECT NO.:	W090666
DRAWN BY:	CFD
CHECKED BY:	MNB/MD
DATE:	07/27/2012
SCALE:	SEE PLAN
CAD I.D.:	W090666.dwg

SITE PLAN DOCUMENTS
FOR

LOCATION OF SITE:
LOTS 48, 121 & 144, PLAT 8
100 HIGHLAND AVENUE
(A.K.A. U.S. ROUTE 6)
TOWN OF SEEKONK
BRISTOL COUNTY
MASSACHUSETTS

BOHLER ENGINEERING
352 TURNPIKE ROAD
SOUTHBOROUGH, MA 01772
Phone: (508) 480-9900
Fax: (508) 480-9090
www.BohlerEngineering.com

S.P. DECOURSEY
PROFESSIONAL ENGINEER
MASSACHUSETTS LICENSE NO. 3643
NEW HAMPSHIRE LICENSE NO. 5308
MAINE LICENSE NO. 5408
VERMONT LICENSE NO. 1110
CONNECTICUT LICENSE NO. 23607
PHONE 651-AND LICENSE NO. 1790

SHEET TITLE:
GRADING & DRAINAGE PLAN

SHEET NUMBER:
6
OF 14

REV 4 - 08/09/2013

LANDSCAPE SPECIFICATIONS

1. SCOPE OF WORK:
THE LANDSCAPE CONTRACTOR SHALL BE REQUIRED TO PERFORM ALL CLEARING, FINISHED GRADING, SOIL PREPARATION, PERMANENT SEEDING OR SOILING, PLANTING AND MULCHING INCLUDING ALL LABOR, MATERIALS, TOOLS AND EQUIPMENT NECESSARY FOR THE COMPLETION OF THIS PROJECT, UNLESS OTHERWISE CONTRACTED BY THE GENERAL CONTRACTOR.

2. MATERIALS:
A. GENERAL - ALL HIRSHGARD MATERIALS SHALL MEET OR EXCEED SPECIFICATIONS AS OUTLINED IN THE STATE DEPARTMENT OF TRANSPORTATION'S SPECIFICATIONS.

B. TOPSOIL - NATURAL, FERTILE, FRESH, UNADDED ORGANIC CONTENT NOT LESS THAN 1%, A PH RANGES BETWEEN 6.5-7.5. IT SHALL BE FREE OF STEEL, ROCKS LARGER THAN ONE (1) INCH (25.4 MM) DIAMETER, NAILS AND CLAY CLODS.

C. LIGNIN - ALL DISTURBED AREAS ARE TO BE TREATED WITH LIGNIN. IT IS THE LIGNIN OF TOPSOIL, OR AS DIRECTED BY THE LOCAL ORDINANCE OR CLIENT, AND SEEDS OR SEEDS IN ACCORDANCE WITH THE PERMANENT STABILIZATION METHOD SPECIFIED. SEE SPECIFICATIONS TABLE.

D. MULCH - ALL PLANTING BEDS SHALL BE FLOUDED WITH A 2" THICK LAYER OF DOUBLE SPUNDED HARDWOOD BARK MULCH UNLESS OTHERWISE STATED ON THE LANDSCAPE PLAN AND/OR DETAILS.

E. FERTILIZER SHALL BE OBTAINED TO THE SITE AS SPECIFIED IN THE ORIGINAL UNAPPROVED DOCUMENTS OR AS SPECIFIED BY THE MANUFACTURER. FERTILIZER SHALL BE STORED IN A WEATHERPROOF PLACE SO THAT IT CAN BE KEPT DRY FROM USE.

F. PLANT MATERIALS
I. ALL PLANTS SHALL BE LEGALLY TAGGED WITH THE PROPER VARIETY AND SIZE. TAGS ARE TO REMAIN ON AT LEAST ONE PLANT OF EACH SPECIES FOR VERIFICATION PURPOSES DURING THE TIME SPECIFIED.

II. TREES WITH ABUSION OF THE BARK, SUN SCALDS, DISTORTION OR FRESH CUTS OF LIMBS OVER 1/2" WHICH HAVE NOT BEEN COMPLETELY CALLED, SHALL BE REJECTED. PLANTS SHALL NOT BE BOUND WITH WIRE OR ROPE AT ANY TIME SO AS TO DAMAGE THE BARK OR BREAK BRANCHES.

III. ALL PLANTS SHALL BE TYPICAL OF THEIR SPECIES OR VARIETY AND SHALL HAVE A NORMAL, HEALTHY GROWTH HABIT. PLANTS SHALL BE PLACED IN ACCORDANCE WITH THE PLANTING OPERATIONS MANUAL. PLANTS SHALL BE PLACED IN ACCORDANCE WITH THE PLANTING OPERATIONS MANUAL. PLANTS SHALL BE PLACED IN ACCORDANCE WITH THE PLANTING OPERATIONS MANUAL.

IV. BRUSH SHALL BE MAINTAINED TO THE APPLICABLE HEIGHT OR SPREAD OF THE TERMINAL AND NOT TO THE LONGEST BRANCH. TREES AND SHRUBS SHALL BE HANDLED WITH CARE BY THE ROOT BALL.

V. GENERAL WORK PROTECTIVES
A. CONTRACTOR SHALL FOLLOW ALL APPLICABLE INDUSTRY STANDARDS IN PERFORMING ALL LANDSCAPE CONSTRUCTION. THE SITE IS TO BE LEFT IN A CLEAN STATE AT THE END OF EACH WORKDAY. ALL DEBRIS, MATERIALS AND TOOLS SHALL BE PROPERLY STORED, STOCKPILED OR DISPOSED OF.

B. WASTE MATERIALS AND DEBRIS SHALL BE COMPLETELY DISPOSED OF AT THE CONTRACTOR'S EXPENSE. DEBRIS SHALL NOT BE BURIED, INCLUDING ORGANIC MATERIALS, BUT SHALL BE REMOVED COMPLETELY FROM THE SITE.

C. SITE PREPARATION
I. BEFORE AND AFTER PRELIMINARY GRADING AND FINISH GRADING, ALL WEEDS AND GRASSES SHALL BE CUT OUT BY THE ROOTS AND DISPOSED OF IN ACCORDANCE WITH GENERAL WORK PROTECTIVES OUTLINED HEREIN.

II. ALL EXISTING TREES TO REMAIN SHALL BE PROTECTED TO PREVENT ANY DAMAGED BRANCHES. THE ENTIRE LENGTH OF ANY DAMAGED BRANCH SHALL BE CUT OFF BY THE BRANCH COLLAR. CUTTING SHALL BE DONE IN SUCH A MANNER AS TO MAINTAIN THE STRENGTH AND INTEGRITY OF THE TREE. BRANCHES SHALL BE CUT BACK WITH CLEAN, SHARP TOOLS AND TOPSOIL SHALL BE PLACED AROUND THE REMAINING OF THE ROOTS. DAMAGED TREES SHALL BE MONITORED AS A REGULAR BASIS FOR FUTURE ROOT OR BRANCH DAMAGE AS A RESULT OF CUTTING. ROOTS SHALL NOT BE LEFT EXPOSED FOR MORE THAN ONE (1) DAY. CONTRACTOR SHALL WATER EXISTING TREES AS NECESSARY TO PREVENT SHOCK OR DROUGHT.

III. CONTRACTOR SHALL ARRANGE TO HAVE A UTILITY LOCATE ALL UNDERGROUND UTILITIES PRIOR TO INSTALLATION OF ANY LANDSCAPE MATERIAL. UTILITY COMPANIES SHALL BE CONTACTED THREE (3) DAYS PRIOR TO THE BEGINNING OF WORK.

IV. TREE PROTECTION
A. CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING TREES TO REMAIN. A TREE PROTECTION ZONE SHALL BE ESTABLISHED AT THE GRIP LINE OR AT THE LIMIT OF CONSTRUCTION DISTURBANCE, WHICHEVER IS GREATER. LOCAL STANDARDS THAT MAY REQUIRE A MORE STRICT TREE PROTECTION ZONE SHALL BE FOLLOVED.

B. A FORTY-EIGHT (48) INCH HIGH WOODEN SHOCK FENCE OR ORANGE COLORED HIGH-VISIBILITY FENCING OR APPROVED EQUAL MOUNTED ON STEEL POSTS SHALL BE PLACED ALONG THE BOUNDARY OF THE TREE PROTECTION ZONE. POSTS SHALL BE LOCATED AT A MAXIMUM OF EIGHT (8) FEET ON CENTER OR AS INDICATED WITHIN THE TREE PROTECTION DETAIL.

C. WHEN THE TREE PROTECTION FENCING HAS BEEN INSTALLED, IT SHALL BE SUBJECT TO THE APPROVING AGENCY PRIOR TO DEVOLUTION GRADING, TREE CLEARING OR ANY OTHER CONSTRUCTION. THE FENCING ALONG THE TREE PROTECTION ZONE SHALL BE REGULARLY INSPECTED BY THE LANDSCAPE CONTRACTOR AND MAINTAINED UNTIL ALL CONSTRUCTION ACTIVITY HAS BEEN COMPLETED.

D. AT NO TIME SHALL MACHINERY, GEARS, FALLEN TREES OR OTHER MATERIALS BE PLACED, STOCKPILED OR LEFT STANDING IN THE TREE PROTECTION ZONE.

E. SOIL MODIFICATION
A. CONTRACTOR SHALL ATAIN A SOIL TEST FOR ALL AREAS OF THE SITE PRIOR TO CONDUCTING ANY PLANTING. SOIL TESTS SHALL BE PERFORMED BY A LICENSED SOIL LABORATORY.

B. LANDSCAPE CONTRACTOR SHALL REPORT ANY SOIL OR DRAINAGE CONDITIONS CONSIDERED DETRIMENTAL TO THE GROWTH OF PLANT MATERIAL. SOIL MODIFICATIONS AS SPECIFIED HEREIN MAY NEED TO BE CONDUCTED BY THE LANDSCAPE CONTRACTOR DEPENDING ON SITE CONDITIONS.

C. THE FOLLOWING AMENDMENTS AND QUANTITIES ARE APPROPRIATE AND ARE FOR BONDING PURPOSES ONLY. COMPOSITION OF AMENDMENTS SHOULD BE REVISED DEPENDING ON THE OUTCOME OF A TOPSOIL ANALYSIS PERFORMED BY A CERTIFIED SOIL LABORATORY.
I. TO INCREASE SANDY SOIL'S ABILITY TO RETAIN WATER AND NUTRIENTS THROUGHOUT THE ORGANIC MATTER INTO THE TOP 12" OF SOIL, USE COMPOSTED BARK, COMPOSTED LEAF MULCH OR PEAT MOSS. ALL PRODUCTS SHOULD BE COMPOSTED TO A DARK COLOR AND BE FREE OF PIECES WITH IDENTIFIABLE LEAF OR WOOD STRUCTURE. AVOID MATERIALS WITH A PH HIGHER THAN 7.5.
II. TO INCREASE DRAINAGE, MOOY HEAVY CLAY OR SILT (MORE THAN 40% CLAY OR SILT) BY ADDING COMPOSTED PINE BARK (UP TO 30% BY VOLUME) AND/OR AGRICULTURAL GYPSSUM. COARSE SAND MAY BE USED IF ENOUGH IS ADDED TO BRING THE SAND CONTENT TO MORE THAN 20% OF THE TOTAL MIX. SURFACE DRAINAGE LINES MAY NEED TO BE ADDED TO INCREASE DRAINAGE.
III. MOOY EXTREMELY SANDY SOILS (MORE THAN 75% BY VOLUME) ORGANIC MATTER AND/OR, SHREDDED CLAY LOAM UP TO 30% OF THE TOTAL MIX.

D. FINISHED GRADING
A. UNLESS OTHERWISE CONTRACTED, THE LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR THE INSTALLATION OF TOPSOIL AND THE ESTABLISHMENT OF FINISH GRADING WITHIN THE DISTURBED AREAS OF THE SITE.

B. LANDSCAPE CONTRACTOR SHALL VERIFY THAT SURFACE FOR INSTALLATION OF TOPSOIL HAS BEEN ESTABLISHED. THE SURFACE OF THE SITE MUST MEET THE FINISHED GRADE LEVELS AS SPECIFIED ON THE SITE PLAN, UNLESS OTHERWISE SPECIFIED.

C. ALL LAWN AND PLANTING AREAS SHALL BE GRADED TO A SMOOTH, EVEN AND UNIFORM PLANE WITH NO ABRUPT CHANGE OF SURFACE AS DETICATED WITHIN THIS SET OF CONSTRUCTION PLANS, UNLESS OTHERWISE DIRECTED BY THE PROJECT ENGINEER OR LANDSCAPE ARCHITECT.

D. ALL PLANTING AREAS SHALL BE GRADED AND IMPROVED TO ALLOW FREE FLOW OF SURFACE WATER AND AROUND THE PLANTING BEDS. EXCESS WATER SHALL NOT BE PERMITTED IN PLANTING BEDS.

E. TOPSOIL
A. CONTRACTOR SHALL PROVIDE A 2" THICK UNBURNED LAYER OF TOPSOIL, OR AS DIRECTED BY THE LOCAL ORDINANCE OR CLIENT, IN ALL PLANTING AREAS. TOPSOIL SHOULD BE SPREAD OVER A PREPARED SURFACE IN A UNIFORM LAYER TO ACHIEVE THE DESIRED COMPACT THICKNESS.

B. ON GRADE TOPSOIL MAY BE USED TO SUPPLEMENT THE TOTAL AMOUNT REQUIRED. TOPSOIL FROM THE SITE MAY BE REJECTED IF IT IS NOT REPRESENTATIVELY ANALYZED, STORED AND PROTECTED PRIOR TO CONSTRUCTION.

C. CONTRACTOR SHALL FURNISH TO THE APPROVING AGENCY AN ANALYSIS OF BOTH IMPORTED AND ON-SITE TOPSOIL TO BE UTILIZED IN ALL PLANTING AREAS. THE PH AND NUTRIENT LEVELS MAY NEED TO BE ADJUSTED THROUGH SOIL MODIFICATION AS NEEDED TO ACHIEVE THE REQUIRED LEVELS AS SPECIFIED IN THE MATERIALS SECTION ABOVE.

D. ALL LAWN AREAS ARE TO BE CULTIVATED TO A DEPTH OF 3-6 INCHES (75-150 MM) AND BE FREE OF DEBRIS FROM CONSTRUCTION AND CULTIVATION SHALL BE DISPOSED OF IN ACCORDANCE WITH GENERAL WORK PROTECTIVES SECTION ABOVE. THE FOLLOWING SHALL BE TILLED INTO THE TOP FOUR INCHES (100 MM) IN TWO DIRECTIONS (ORTHOGONALS) BASED ON A 1,000 SQUARE FOOT AREA FOR THE PURPOSES ONLY (SEE SPECIFICATION 1.4.2).
I. 20 POUNDS SODIUM OR APPROXIMATE SOIL CONDITION FERTILIZER
II. 20 POUNDS NITROGEN FERTILIZER (SOURCE: 30-0-00 BLUE CHIP OR APPROVED NITROGEN FERTILIZER)

E. THE SPREADING OF TOPSOIL SHALL NOT BE CONDUCTED UNDER WINDY OR FROZEN CONDITIONS.

F. PLANTING
A. INSURE THAT IF IT IS FEASIBLE, PLANT MATERIAL SHALL BE PLANTED ON THE DAY OF DELIVERY. IN THE EVENT THAT THIS IS NOT POSSIBLE, LANDSCAPE CONTRACTOR SHALL PROTECT UNPLANTED PLANT MATERIAL. PLANTS SHALL NOT REMAIN UNPLANTED FOR LONGER THAN A THREE-DAY PERIOD AFTER DELIVERY. PLANTS THAT WILL NOT BE PLANTED FOR A PERIOD OF TIME GREATER THAN THREE DAYS SHALL BE REJECTED WITH TOPSOIL OR BULK TO THE PRESERVE ROOT MOISTURE.

B. PLANTING OPERATIONS SHALL BE PERFORMED DURING PERIODS WITHIN THE PLANTING SEASON WHEN WEATHER AND SOIL CONDITIONS ARE SUITABLE AND IN ACCORDANCE WITH ACCEPTED LOCAL PRACTICES. PLANTS SHALL NOT BE INSTALLED IN TOPSOIL THAT IS WET OR FROZEN.

C. ANY INJURED ROOTS OR BRANCHES SHALL BE PRUNED TO MAKE CLEAN CUT ENDS PRIOR TO PLANTING UNLESS CLEAR SWAY TABLE, ONLY INJURED OR DAMAGED BRANCHING SHALL BE REMOVED.

D. ALL PLANTING CONTAINERS, BASKETS AND NON-Biodegradable MATERIALS SHALL BE REMOVED FROM ROOT BALLS DURING PLANTING. NATURAL FIBER BURLAP MUST BE CUT FROM AROUND THE TRUNK OF THE TREE AND FOLDED DOWN AGAINST THE ROOT BALL PRIOR TO BACKFILLING.

E. POSITION TREES AND SHRUBS AT THEIR INTENDED LOCATION AS PER THE PLANS AND SECURE THE APPROVAL OF THE LANDSCAPE ARCHITECT PRIOR TO BACKFILLING. MAKING NECESSARY ADJUSTMENTS AS SPECIFIED.

F. PRIOR TO THE DELIVERY OF ANY LEFTOVERS OF OCCUPANCY, THE PROPOSED LANDSCAPE AS SHOWN ON THE APPROVED LANDSCAPE PLAN MUST BE INSTALLED, INSPECTED AND APPROVED BY THE APPROVING AGENCY. THE OCCUPANCY AGENCY SHALL TAKE INTO ACCOUNT SEASONAL CONSIDERATIONS BY THE SQUARE AS FOLLOWS: THE PLANTING OF TREES, SHRUBS, VINES OR GRASSING COVER SHALL OCCUR ONLY DURING THE FOLLOWING PLANTING SEASONS:
I. PLANTS: MARCH 15 TO DECEMBER 15
II. LAWN: MARCH 15 TO APRIL 15 OR SEPT. 15 TO DECEMBER 15

PLANTING REQUIRED FOR A CERTIFICATE OF OCCUPANCY SHALL BE PROVIDED DURING THE NEXT APPROPRIATE SEASON AT THE MUNICIPALITY'S DISCRETION. CONTRACTOR SHOULD CONTACT APPROVING AGENCY FOR POTENTIAL SUBSTITUTIONS.

G. FURTHERMORE, THE FOLLOWING TREE VARIETIES ARE UNUSUALLY SUSCEPTIBLE TO WINTER DAMAGE, WITH TRANSPLANT SHOCK AND THE SEASONAL LACK OF NITROGEN AVAILABILITY. THE TREE OR PLANT SHOULD BE CAREFULLY MONITORED. IF ANY SPECIES ARE PLANTED DURING THE FALL PLANTING PERIOD, IT IS HIGHLY RECOMMENDED THAT THESE SPECIES BE PLANTED DURING THE FALL PLANTING PERIOD.

PLANTING AVOIDANCE LIST:
ACER RUBRUM, BETULA VARIETIES, CORYLUS VARIETIES, CRATAEGUS VARIETIES, KOSCHKEA VARIETIES, LIQUIDAMBAR STRYCIPIA, LIRIODENDRON FLORIDANA, MALUS VARIETIES, NYCTAGINIA VARIETIES, POPULUS VARIETIES, PRUNUS VARIETIES, PYRUS VARIETIES, QUERCUS VARIETIES, TAXUS VARIETIES, ZELKOVA VARIETIES

PLANTING PITS SHALL BE 300 (30") DEEP, BOTTOMS WITH THE WIDTH TWICE THE DIAMETER OF ROOT BALL. THE ROOT BALL SHALL REST ON UNDISTURBED GRADE. EACH PLANT PIT SHALL BE BACKFILLED IN LAYERS WITH THE FOLLOWING PREPARED SOIL MIXED THOROUGHLY:
I. 1 PART PEAT MOSS
II. 1 PART COMPOSTED CON. MANURE BY VOLUME
III. 3 PARTS TOPSOIL BY VOLUME

IV. IN GRASSING AREAS, PLANTING TABLETS OR APPROVED EQUIVALENTS AS FOLLOWS:
A. 1 TABLET PER 1 GALLON PLANT
B. 1 TABLET PER 1 GALLON PLANT
C. 1 TABLET PER 1 GALLON PLANT
D. 1 TABLET PER 1 GALLON PLANT
E. 1 TABLET PER 1 GALLON PLANT
F. 1 TABLET PER 1 GALLON PLANT
G. 1 TABLET PER 1 GALLON PLANT
H. 1 TABLET PER 1 GALLON PLANT
I. 1 TABLET PER 1 GALLON PLANT
J. 1 TABLET PER 1 GALLON PLANT
K. 1 TABLET PER 1 GALLON PLANT
L. 1 TABLET PER 1 GALLON PLANT
M. 1 TABLET PER 1 GALLON PLANT
N. 1 TABLET PER 1 GALLON PLANT
O. 1 TABLET PER 1 GALLON PLANT
P. 1 TABLET PER 1 GALLON PLANT
Q. 1 TABLET PER 1 GALLON PLANT
R. 1 TABLET PER 1 GALLON PLANT
S. 1 TABLET PER 1 GALLON PLANT
T. 1 TABLET PER 1 GALLON PLANT
U. 1 TABLET PER 1 GALLON PLANT
V. 1 TABLET PER 1 GALLON PLANT
W. 1 TABLET PER 1 GALLON PLANT
X. 1 TABLET PER 1 GALLON PLANT
Y. 1 TABLET PER 1 GALLON PLANT
Z. 1 TABLET PER 1 GALLON PLANT

V. PREPARED SOIL AROUND BALL OF PLANT HALF-WAY AND INSIDE PLANT TABLET. COMPLETE BACKFILL AND WATER THOROUGHLY.

J. ALL PLANTS SHALL BE PLANTED SO THAT THE TOP OF THE ROOT BALL, THE POINT AT WHICH THE ROOT BALL BEGINS, IS AT GRADE LEVEL AND IN THE CENTER OF THE PIT. NO SOIL IS TO BE PLACED DIRECTLY ON TOP OF THE ROOT BALL.

K. ALL PROPOSED TREES DIRECTLY ADJACENT TO WALKWAYS OR DRIVEWAYS SHALL BE PRIMED AND MAINTAINED TO A MINIMUM FRAME HEIGHT OF 7' FROM GRADE.

L. GROUND COVER AREAS SHALL RECEIVE A 1" LAYER OF PEAT MOSS BAKED INTO THE TOP 1" OF PREPARED SOIL PRIOR TO PLANTING. ALL GROUND COVER AREAS SHALL BE WEEDED AND TREATED WITH A PRE-EMERGENT CHEMICAL AS PER MANUFACTURER'S RECOMMENDATION.

M. NO PLANT, EXCEPT GROUND COVERS, GRASSES OR VINES, SHALL BE PLANTED LESS THAN TWO (2) FEET FROM EXISTING STRUCTURES AND SIDEWALKS.

N. ALL PLANTING AREAS AND PLANTING PITS SHALL BE MULCHED AS SPECIFIED HEREIN TO FULL THE ENTIRE BED AREA OR GALZEIN. NO MULCH IS TO TOUCH THE TRUNK OF THE TREE OR SHRUB.

O. ALL PLANTING AREAS SHALL BE WATERED IMMEDIATELY UPON INSTALLATION IN ACCORDANCE WITH THE WATERING SPECIFICATIONS AS LISTED HEREIN.

P. TRANSPLANTING PLANTING REQUIREMENTS
I. ALL TRANSPLANTS SHALL BE CUT WITH INTACT ROOT BALLS CAPABLE OF SUSTAINING THE PLANT.

II. IF PLANTS ARE TO BE STOCKPILED BEFORE REPLANTING, THEY SHALL BE NAILED IN WITH MULCH OR SOIL, ABSOLUTELY WATERED AND PROTECTED FROM EXCESSIVE HEAT, SUN AND WIND.

III. PLANTS SHALL NOT BE DUG FOR TRANSPORTING BETWEEN APRIL 15 AND JUNE 30.

IV. SPONDERPLANTING BEDS SHALL BE AMENDED WITH FERTILIZER AND ROOT GROWTH HORMONE.

V. TRANSPLANTS SHALL BE QUARANTINED FOR THE LENGTH OF THE QUARANTINE PERIOD SPECIFIED HEREIN.

F. TRANSPLANTS OF 6" DIAMETER TREES LESS THAN SIX INCHES (150 MM) SHALL BE REPLACED IN WIND. TREES GREATER THAN SIX INCHES (150 MM) MAY BE REPLACED IN ACCORDANCE WITH THE MUNICIPALITY'S TREE REPLACEMENT GUIDELINES.

G. NEW PLANTINGS OR LAWN AREAS SHALL BE IMMEDIATELY WATERED IN ACCORDANCE WITH PLANTING. WATER SHALL BE APPLIED TO EACH TREE AND SHRUB IN SUCH A MANNER AS TO WET THE BARK AND TO THE EXTENT THAT ALL WATER IN THE PLANTING HOLE AND THROUGHOUT THE ENTIRE PLANTING HOLE IS USED. WATERING SHALL CONTINUE AT LEAST UNTIL PLANTING IS ESTABLISHED.

H. IN ALL PLANTING AREAS, WATER SHALL BE AVAILABLE ON SITE AT TIME OF PLANTING. IF WATER IS NOT AVAILABLE ON SITE, CONTRACTOR SHALL SUPPLY ALL NECESSARY WATER. THE USE OF WATERING BAGS IS RECOMMENDED FOR ALL NEWLY PLANTED TREES.

I. IF AN IRRIGATION SYSTEM HAS BEEN INSTALLED ON THE SITE, IT SHALL BE USED TO WATER PROPOSED PLANT MATERIAL, BUT ANY FAILURE OF THE SYSTEM DOES NOT ELIMINATE THE CONTRACTOR'S RESPONSIBILITY OF MAINTAINING THE DESIRED MOISTURE LEVEL FOR VIGOROUS HEALTHY GROWTH.

J. GUARANTEE
A. THE LANDSCAPE CONTRACTOR SHALL GUARANTEE ALL PLANTS FOR A PERIOD OF FROM APPROVAL OF LANDSCAPE INSTALLATION BY THE APPROVING AGENCY. CONTRACTOR SHALL SUPPLY THE OWNER WITH A MAINTENANCE BOND FOR TEN PERCENT (10%) OF THE VALUE OF THE LANDSCAPE INSTALLATION WHICH WILL BE RELEASED AT THE COMPLETION OF THE GUARANTEE PERIOD AND WHEN A FINAL INSPECTION HAS BEEN COMPLETED AND APPROVED BY THE OWNER OR AUTHORIZED REPRESENTATIVE.

B. ANY DEAD OR DYING PLANT MATERIAL SHALL BE REPLACED FOR THE LENGTH OF THE GUARANTEE PERIOD. REPLACEMENT OF PLANT MATERIAL SHALL BE CONDUCTED AT THE FIRST SUCCESSFUL PLANTING SEASON. ANY DEBRIS SHALL BE DISPOSED OF BY SITE, WITHOUT EXCEPTION.

C. TREES AND SHRUBS SHALL BE MAINTAINED BY THE LANDSCAPE CONTRACTOR THROUGHOUT THE 90 DAY MAINTENANCE PERIOD AS SPECIFIED HEREIN. CULTIVATION, WATERING, WEEDING AND THE PREVENTATIVE TREATMENTS SHALL BE PERFORMED AS NECESSARY TO KEEP PLANT MATERIAL IN GOOD CONDITION AND FREE OF WEEDS AND DISEASE.

D. LAWN SHALL BE MAINTAINED THROUGHOUT THE 90 DAY MAINTENANCE PERIOD. WEEDING, MOWING, TRENNING AND OTHER OPERATIONS SUCH AS SOILING, REGRASSING AND RESEEDING ARE REQUIRED TO ESTABLISH A SMOOTH, ACCEPTABLE LAWN, FREE OF BROODS OR BARE AREAS.

E. CLEANUP
A. UPON THE COMPLETION OF ALL LANDSCAPE INSTALLATION AND BEFORE THE FINAL ACCEPTANCE, THE CONTRACTOR SHALL REMOVE ALL UNUSED MATERIALS, EQUIPMENT AND DEBRIS FROM THE SITE. ALL FINISH AREAS TO BE CLEANED.

F. THE SITE SHALL BE CLEANED AND LEFT IN A NEAT AND ACCESSIBLE CONDITION AS APPROVED BY THE OWNER OR AUTHORIZED REPRESENTATIVE.

G. MAINTENANCE ON THE MAINTENANCE PERIOD
A. A 90 DAY MAINTENANCE PERIOD SHALL COMMENCE AT THE END OF ALL LANDSCAPE INSTALLATION OPERATIONS. THE 90 DAY MAINTENANCE PERIOD ENSURES TO THE OWNER OPERATOR THAT THE NEWLY INSTALLED LANDSCAPE HAS BEEN MAINTAINED AS SPECIFIED ON THE APPROVED LANDSCAPE PLAN. ONCE THE INITIAL 90 DAY MAINTENANCE PERIOD HAS EXPIRED, THE OWNER OPERATOR MAY REQUEST THAT THE CONTRACTOR SHALL BE RE-ENGAGED FOR A MAINTENANCE CONTRACT FOR A MAINTENANCE CONTRACT. THE MAINTENANCE CONTRACT WILL ENCOMPASS ANY WORK THAT IS CONSIDERED APPROPRIATE TO ENSURE THAT PLANT AND LAWN AREAS ARE HEALTHY AND UNIMPACTED TO THE APPROVAL OF THE OWNER OPERATOR.

H. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE MAINTENANCE OF THE LANDSCAPE THROUGHOUT THE 90 DAY MAINTENANCE PERIOD AS SPECIFIED HEREIN. CULTIVATION, WATERING, WEEDING AND THE PREVENTATIVE TREATMENTS SHALL BE PERFORMED AS NECESSARY TO KEEP PLANT MATERIAL IN GOOD CONDITION AND FREE OF WEEDS AND DISEASE.

I. LAWN SHALL BE MAINTAINED THROUGHOUT THE 90 DAY MAINTENANCE PERIOD. WEEDING, MOWING, TRENNING AND OTHER OPERATIONS SUCH AS SOILING, REGRASSING AND RESEEDING ARE REQUIRED TO ESTABLISH A SMOOTH, ACCEPTABLE LAWN, FREE OF BROODS OR BARE AREAS.

J. CLEANUP
A. UPON THE COMPLETION OF ALL LANDSCAPE INSTALLATION AND BEFORE THE FINAL ACCEPTANCE, THE CONTRACTOR SHALL REMOVE ALL UNUSED MATERIALS, EQUIPMENT AND DEBRIS FROM THE SITE. ALL FINISH AREAS TO BE CLEANED.

K. THE SITE SHALL BE CLEANED AND LEFT IN A NEAT AND ACCESSIBLE CONDITION AS APPROVED BY THE OWNER OR AUTHORIZED REPRESENTATIVE.

L. MAINTENANCE ON THE MAINTENANCE PERIOD
A. A 90 DAY MAINTENANCE PERIOD SHALL COMMENCE AT THE END OF ALL LANDSCAPE INSTALLATION OPERATIONS. THE 90 DAY MAINTENANCE PERIOD ENSURES TO THE OWNER OPERATOR THAT THE NEWLY INSTALLED LANDSCAPE HAS BEEN MAINTAINED AS SPECIFIED ON THE APPROVED LANDSCAPE PLAN. ONCE THE INITIAL 90 DAY MAINTENANCE PERIOD HAS EXPIRED, THE OWNER OPERATOR MAY REQUEST THAT THE CONTRACTOR SHALL BE RE-ENGAGED FOR A MAINTENANCE CONTRACT FOR A MAINTENANCE CONTRACT. THE MAINTENANCE CONTRACT WILL ENCOMPASS ANY WORK THAT IS CONSIDERED APPROPRIATE TO ENSURE THAT PLANT AND LAWN AREAS ARE HEALTHY AND UNIMPACTED TO THE APPROVAL OF THE OWNER OPERATOR.

M. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE MAINTENANCE OF THE LANDSCAPE THROUGHOUT THE 90 DAY MAINTENANCE PERIOD AS SPECIFIED HEREIN. CULTIVATION, WATERING, WEEDING AND THE PREVENTATIVE TREATMENTS SHALL BE PERFORMED AS NECESSARY TO KEEP PLANT MATERIAL IN GOOD CONDITION AND FREE OF WEEDS AND DISEASE.

N. LAWN SHALL BE MAINTAINED THROUGHOUT THE 90 DAY MAINTENANCE PERIOD. WEEDING, MOWING, TRENNING AND OTHER OPERATIONS SUCH AS SOILING, REGRASSING AND RESEEDING ARE REQUIRED TO ESTABLISH A SMOOTH, ACCEPTABLE LAWN, FREE OF BROODS OR BARE AREAS.

O. CLEANUP
A. UPON THE COMPLETION OF ALL LANDSCAPE INSTALLATION AND BEFORE THE FINAL ACCEPTANCE, THE CONTRACTOR SHALL REMOVE ALL UNUSED MATERIALS, EQUIPMENT AND DEBRIS FROM THE SITE. ALL FINISH AREAS TO BE CLEANED.

P. THE SITE SHALL BE CLEANED AND LEFT IN A NEAT AND ACCESSIBLE CONDITION AS APPROVED BY THE OWNER OR AUTHORIZED REPRESENTATIVE.

Q. MAINTENANCE ON THE MAINTENANCE PERIOD
A. A 90 DAY MAINTENANCE PERIOD SHALL COMMENCE AT THE END OF ALL LANDSCAPE INSTALLATION OPERATIONS. THE 90 DAY MAINTENANCE PERIOD ENSURES TO THE OWNER OPERATOR THAT THE NEWLY INSTALLED LANDSCAPE HAS BEEN MAINTAINED AS SPECIFIED ON THE APPROVED LANDSCAPE PLAN. ONCE THE INITIAL 90 DAY MAINTENANCE PERIOD HAS EXPIRED, THE OWNER OPERATOR MAY REQUEST THAT THE CONTRACTOR SHALL BE RE-ENGAGED FOR A MAINTENANCE CONTRACT FOR A MAINTENANCE CONTRACT. THE MAINTENANCE CONTRACT WILL ENCOMPASS ANY WORK THAT IS CONSIDERED APPROPRIATE TO ENSURE THAT PLANT AND LAWN AREAS ARE HEALTHY AND UNIMPACTED TO THE APPROVAL OF THE OWNER OPERATOR.

R. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE MAINTENANCE OF THE LANDSCAPE THROUGHOUT THE 90 DAY MAINTENANCE PERIOD AS SPECIFIED HEREIN. CULTIVATION, WATERING, WEEDING AND THE PREVENTATIVE TREATMENTS SHALL BE PERFORMED AS NECESSARY TO KEEP PLANT MATERIAL IN GOOD CONDITION AND FREE OF WEEDS AND DISEASE.

S. LAWN SHALL BE MAINTAINED THROUGHOUT THE 90 DAY MAINTENANCE PERIOD. WEEDING, MOWING, TRENNING AND OTHER OPERATIONS SUCH AS SOILING, REGRASSING AND RESEEDING ARE REQUIRED TO ESTABLISH A SMOOTH, ACCEPTABLE LAWN, FREE OF BROODS OR BARE AREAS.

T. CLEANUP
A. UPON THE COMPLETION OF ALL LANDSCAPE INSTALLATION AND BEFORE THE FINAL ACCEPTANCE, THE CONTRACTOR SHALL REMOVE ALL UNUSED MATERIALS, EQUIPMENT AND DEBRIS FROM THE SITE. ALL FINISH AREAS TO BE CLEANED.

U. THE SITE SHALL BE CLEANED AND LEFT IN A NEAT AND ACCESSIBLE CONDITION AS APPROVED BY THE OWNER OR AUTHORIZED REPRESENTATIVE.

V. MAINTENANCE ON THE MAINTENANCE PERIOD
A. A 90 DAY MAINTENANCE PERIOD SHALL COMMENCE AT THE END OF ALL LANDSCAPE INSTALLATION OPERATIONS. THE 90 DAY MAINTENANCE PERIOD ENSURES TO THE OWNER OPERATOR THAT THE NEWLY INSTALLED LANDSCAPE HAS BEEN MAINTAINED AS SPECIFIED ON THE APPROVED LANDSCAPE PLAN. ONCE THE INITIAL 90 DAY MAINTENANCE PERIOD HAS EXPIRED, THE OWNER OPERATOR MAY REQUEST THAT THE CONTRACTOR SHALL BE RE-ENGAGED FOR A MAINTENANCE CONTRACT FOR A MAINTENANCE CONTRACT. THE MAINTENANCE CONTRACT WILL ENCOMPASS ANY WORK THAT IS CONSIDERED APPROPRIATE TO ENSURE THAT PLANT AND LAWN AREAS ARE HEALTHY AND UNIMPACTED TO THE APPROVAL OF THE OWNER OPERATOR.

W. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE MAINTENANCE OF THE LANDSCAPE THROUGHOUT THE 90 DAY MAINTENANCE PERIOD AS SPECIFIED HEREIN. CULTIVATION, WATERING, WEEDING AND THE PREVENTATIVE TREATMENTS SHALL BE PERFORMED AS NECESSARY TO KEEP PLANT MATERIAL IN GOOD CONDITION AND FREE OF WEEDS AND DISEASE.

X. LAWN SHALL BE MAINTAINED THROUGHOUT THE 90 DAY MAINTENANCE PERIOD. WEEDING, MOWING, TRENNING AND OTHER OPERATIONS SUCH AS SOILING, REGRASSING AND RESEEDING ARE REQUIRED TO ESTABLISH A SMOOTH, ACCEPTABLE LAWN, FREE OF BROODS OR BARE AREAS.

Y. CLEANUP
A. UPON THE COMPLETION OF ALL LANDSCAPE INSTALLATION AND BEFORE THE FINAL ACCEPTANCE, THE CONTRACTOR SHALL REMOVE ALL UNUSED MATERIALS, EQUIPMENT AND DEBRIS FROM THE SITE. ALL FINISH AREAS TO BE CLEANED.

Z. THE SITE SHALL BE CLEANED AND LEFT IN A NEAT AND ACCESSIBLE CONDITION AS APPROVED BY THE OWNER OR AUTHORIZED REPRESENTATIVE.

AA. MAINTENANCE ON THE MAINTENANCE PERIOD
A. A 90 DAY MAINTENANCE PERIOD SHALL COMMENCE AT THE END OF ALL LANDSCAPE INSTALLATION OPERATIONS. THE 90 DAY MAINTENANCE PERIOD ENSURES TO THE OWNER OPERATOR THAT THE NEWLY INSTALLED LANDSCAPE HAS BEEN MAINTAINED AS SPECIFIED ON THE APPROVED LANDSCAPE PLAN. ONCE THE INITIAL 90 DAY MAINTENANCE PERIOD HAS EXPIRED, THE OWNER OPERATOR MAY REQUEST THAT THE CONTRACTOR SHALL BE RE-ENGAGED FOR A MAINTENANCE CONTRACT FOR A MAINTENANCE CONTRACT. THE MAINTENANCE CONTRACT WILL ENCOMPASS ANY WORK THAT IS CONSIDERED APPROPRIATE TO ENSURE THAT PLANT AND LAWN AREAS ARE HEALTHY AND UNIMPACTED TO THE APPROVAL OF THE OWNER OPERATOR.

AB. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE MAINTENANCE OF THE LANDSCAPE THROUGHOUT THE 90 DAY MAINTENANCE PERIOD AS SPECIFIED HEREIN. CULTIVATION, WATERING, WEEDING AND THE PREVENTATIVE TREATMENTS SHALL BE PERFORMED AS NECESSARY TO KEEP PLANT MATERIAL IN GOOD CONDITION AND FREE OF WEEDS AND DISEASE.

AC. LAWN SHALL BE MAINTAINED THROUGHOUT THE 90 DAY MAINTENANCE PERIOD. WEEDING, MOWING, TRENNING AND OTHER OPERATIONS SUCH AS SOILING, REGRASSING AND RESEEDING ARE REQUIRED TO ESTABLISH A SMOOTH, ACCEPTABLE LAWN, FREE OF BROODS OR BARE AREAS.

AD. CLEANUP
A. UPON THE COMPLETION OF ALL LANDSCAPE INSTALLATION AND BEFORE THE FINAL ACCEPTANCE, THE CONTRACTOR SHALL REMOVE ALL UNUSED MATERIALS, EQUIPMENT AND DEBRIS FROM THE SITE. ALL FINISH AREAS TO BE CLEANED.

AE. THE SITE SHALL BE CLEANED AND LEFT IN A NEAT AND ACCESSIBLE CONDITION AS APPROVED BY THE OWNER OR AUTHORIZED REPRESENTATIVE.

AF. MAINTENANCE ON THE MAINTENANCE PERIOD
A. A 90 DAY MAINTENANCE PERIOD SHALL COMMENCE AT THE END OF ALL LANDSCAPE INSTALLATION OPERATIONS. THE 90 DAY MAINTENANCE PERIOD ENSURES TO THE OWNER OPERATOR THAT THE NEWLY INSTALLED LANDSCAPE HAS BEEN MAINTAINED AS SPECIFIED ON THE APPROVED LANDSCAPE PLAN. ONCE THE INITIAL 90 DAY MAINTENANCE PERIOD HAS EXPIRED, THE OWNER OPERATOR MAY REQUEST THAT THE CONTRACTOR SHALL BE RE-ENGAGED FOR A MAINTENANCE CONTRACT FOR A MAINTENANCE CONTRACT. THE MAINTENANCE CONTRACT WILL ENCOMPASS ANY WORK THAT IS CONSIDERED APPROPRIATE TO ENSURE THAT PLANT AND LAWN AREAS ARE HEALTHY AND UNIMPACTED TO THE APPROVAL OF THE OWNER OPERATOR.

AG. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE MAINTENANCE OF THE LANDSCAPE THROUGHOUT THE 90 DAY MAINTENANCE PERIOD AS SPECIFIED HEREIN. CULTIVATION, WATERING, WEEDING AND THE PREVENTATIVE TREATMENTS SHALL BE PERFORMED AS NECESSARY TO KEEP PLANT MATERIAL IN GOOD CONDITION AND FREE OF WEEDS AND DISEASE.

AH. LAWN SHALL BE MAINTAINED THROUGHOUT THE 90 DAY MAINTENANCE PERIOD. WEEDING, MOWING, TRENNING AND OTHER OPERATIONS SUCH AS SOILING, REGRASSING AND RESEEDING ARE REQUIRED TO ESTABLISH A SMOOTH, ACCEPTABLE LAWN, FREE OF BROODS OR BARE AREAS.

AI. CLEANUP
A. UPON THE COMPLETION OF ALL LANDSCAPE INSTALLATION AND BEFORE THE FINAL ACCEPTANCE, THE CONTRACTOR SHALL REMOVE ALL UNUSED MATERIALS, EQUIPMENT AND DEBRIS FROM THE SITE. ALL FINISH AREAS TO BE CLEANED.

AJ. THE SITE SHALL BE CLEANED AND LEFT IN A NEAT AND ACCESSIBLE CONDITION AS APPROVED BY THE OWNER OR AUTHORIZED REPRESENTATIVE.

AK. MAINTENANCE ON THE MAINTENANCE PERIOD
A. A 90 DAY MAINTENANCE PERIOD SHALL COMMENCE AT THE END OF ALL LANDSCAPE INSTALLATION OPERATIONS. THE 90 DAY MAINTENANCE PERIOD ENSURES TO THE OWNER OPERATOR THAT THE NEWLY INSTALLED LANDSCAPE HAS BEEN MAINTAINED AS SPECIFIED ON THE APPROVED LANDSCAPE PLAN. ONCE THE INITIAL 90 DAY MAINTENANCE PERIOD HAS EXPIRED, THE OWNER OPERATOR MAY REQUEST THAT THE CONTRACTOR SHALL BE RE-ENGAGED FOR A MAINTENANCE CONTRACT FOR A MAINTENANCE CONTRACT. THE MAINTENANCE CONTRACT WILL ENCOMPASS ANY WORK THAT IS CONSIDERED APPROPRIATE TO ENSURE THAT PLANT AND LAWN AREAS ARE HEALTHY AND UNIMPACTED TO THE APPROVAL OF THE OWNER OPERATOR.

1. METAL BED EDGING
SCALE: NTS



1. Bed edge shall be 1" thick commercial aluminum or steel edging with 1/2" spikes at 2' on center maximum.
2. Install edging only in areas separate river rock from mulch or turf, edging shall not be installed adjacent to sidewalks.
3. Where edging terminates at a sidewalk, bench or recess ends to prevent trip hazards.

Ensure that all river rock adjacent to the sidewalk is flush and level with the elevation of the walk. Sloped or rounded beds that allow the rock to roll onto walking surfaces are unacceptable.

2. ROCK MULCH INSTALLATION
SCALE: NTS



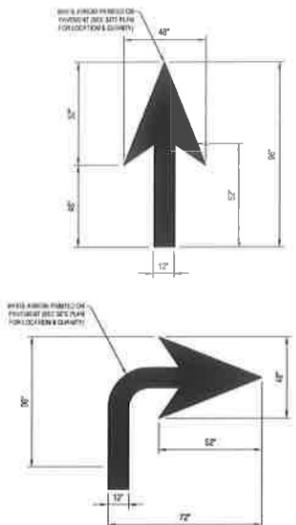
1. Top of rock mulch to be 1" above grade.
2. Place flat sides of rock below grade or natural face above grade.
3. Lawn.

Rock to appear that it has settled over time into the landscape. Buckles to appear more weathered and angular in appearance, rather than rounded or flat, and shall be free of sharp edges.

3. DECORATIVE LAWN ROCK
SCALE: NTS

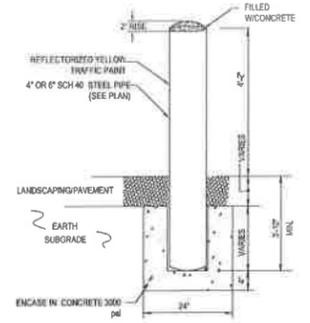


Rock to appear that it has settled over time into the landscape. Buckles to appear more weathered and angular in appearance, rather than rounded or flat, and shall be free of sharp edges.



TYPICAL PAINTED ARROWS

N.T.S.



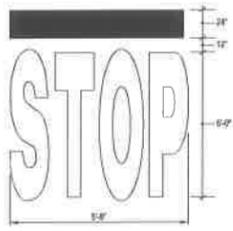
TYPICAL BOLLARD

N.T.S.



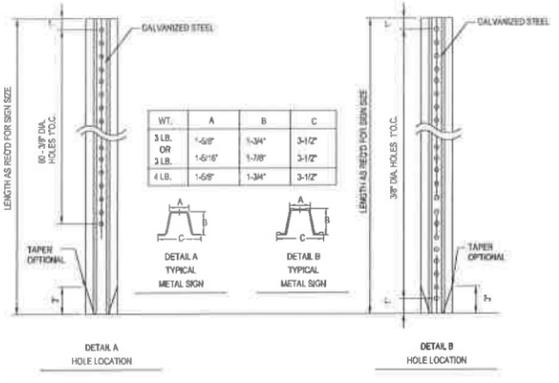
'STOP' SIGN

N.T.S.



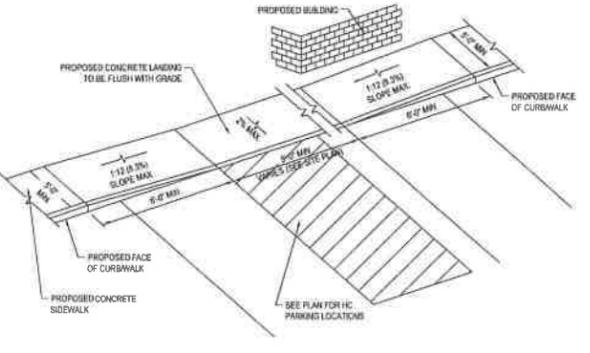
'STOP' BAR DETAIL

N.T.S.



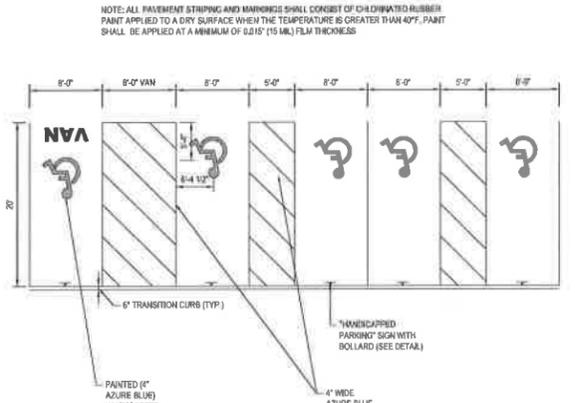
TYPICAL ON-SITE METAL SIGN POSTS

N.T.S.



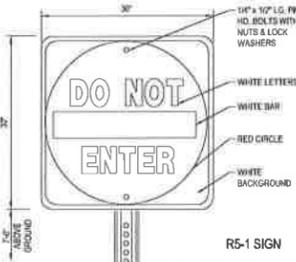
SLOPED WALK DETAIL

N.T.S.



HANDICAPPED STALL MARKINGS & PARKING LOT STRIPING DETAIL

N.T.S.



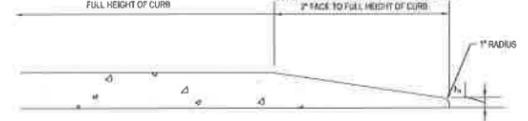
"DO NOT ENTER" SIGN

N.T.S.



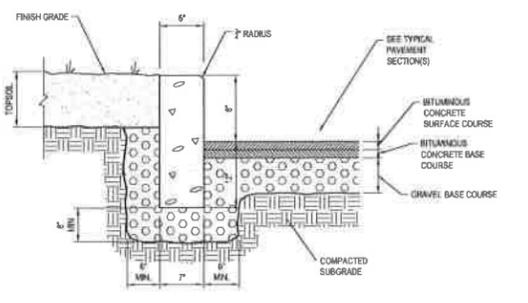
"NO LEFT TURN" SIGN (W/ARROW)

N.T.S.



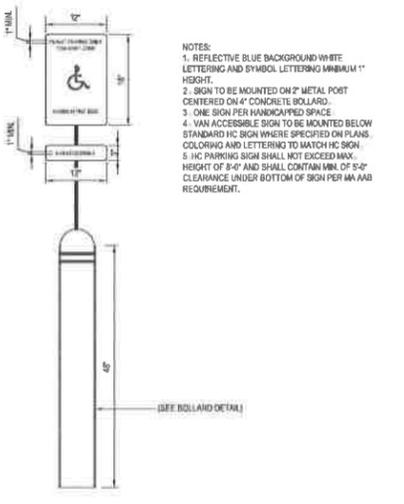
TRANSITION CURB DETAIL

N.T.S.



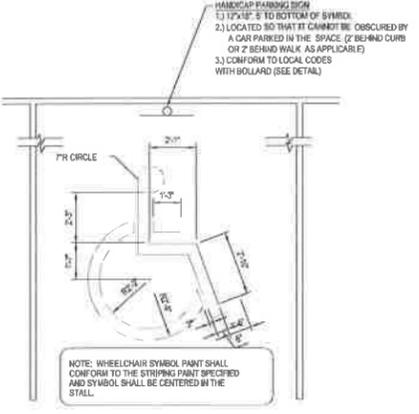
PRECAST CONCRETE CURB DETAIL

N.T.S.



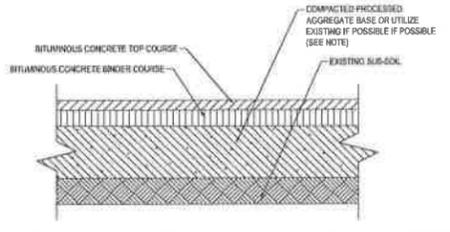
HANDICAP PARKING SIGN (WITH BOLLARD)

N.T.S.



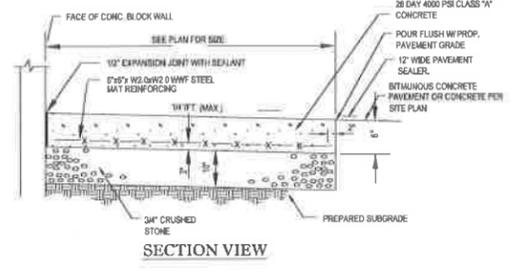
HANDICAP PARKING STALL PAINTING DETAIL

N.T.S.



TYPICAL PAVEMENT SECTION

N.T.S.



CONCRETE DUMPSTER/LOADING AREA PAD SECTION

N.T.S.

BOHLER ENGINEERING

CIVIL & CONSULTING ENGINEERS
SURVEYORS
PROJECT MANAGERS
ENVIRONMENTAL CONSULTANTS
LANDSCAPE ARCHITECTS

CORPORATE OFFICE:
WARREN, NJ

OFFICES:
SOUTHBOROUGH, MA
CHAPEL HILL, NC
STERLING, VA
TOWSON, MD
ROCKVILLE, MD
PORTLAND, ME
PORTLAND, OR
FORT LAUDERDALE, FL
TAMPA, FL

REVISIONS

REV	DATE	COMMENT	BY
1	4/4/13	REVISED SITE LAYOUT	MNB
2	5/30/13	REVISED BUILDING	MNB
3	6/26/13	FUTURE PARKING AREA	MNB
4	8/16/13	PLANNING BOARD COMMENTS	MNB
5			
6			
7			
8			
9			
10			
11			
12			
13			
14			
15			

PERMIT SET

PROJECT NO.: W090966
DRAWN BY: CFJ
CHECKED BY: MNB/LMD
DATE: 07/27/12
SCALE: SEE PLAN
CAD I.D.: W090966.dwg

SITE PLAN DOCUMENTS FOR

LONGHORN

LOCATION OF SITE
LOTS #48, 121 & 144, PLAT #8
100 HIGHLAND AVENUE
(A.K.A. U.S. ROUTE 6)
TOWN OF SEEKONK
BRISTOL COUNTY
MASSACHUSETTS

BOHLER ENGINEERING

352 TURNPIKE ROAD
SOUTHBOROUGH, MA 01772
Phone: (508) 480-9900
Fax: (508) 480-9900
www.BohlerEngineering.com

S.P. DECOURSEY

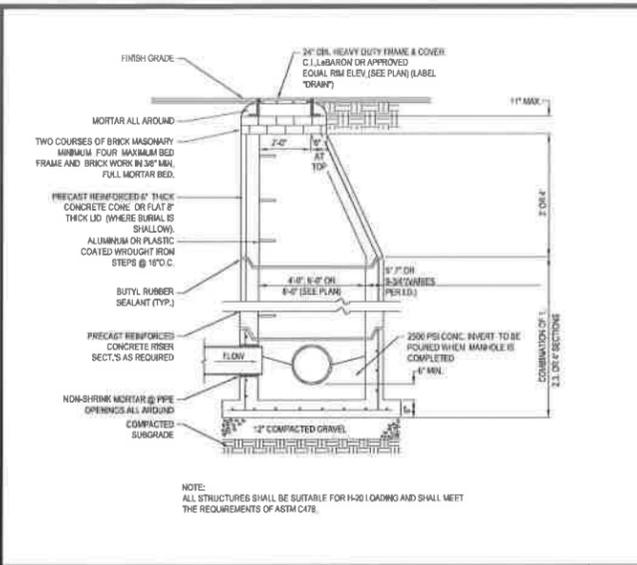
PROFESSIONAL ENGINEER
MASSACHUSETTS LICENSE NO. 9641
NEW HAMPSHIRE LICENSE NO. 3008
MINN. LICENSE NO. 8884
VIRGINIA LICENSE NO. 1111
CONNECTICUT LICENSE NO. 31067
RHODE ISLAND LICENSE NO. 7192

SHEET TITLE:
CONSTRUCTION DETAIL SHEET

SHEET NUMBER:
13
OF 14

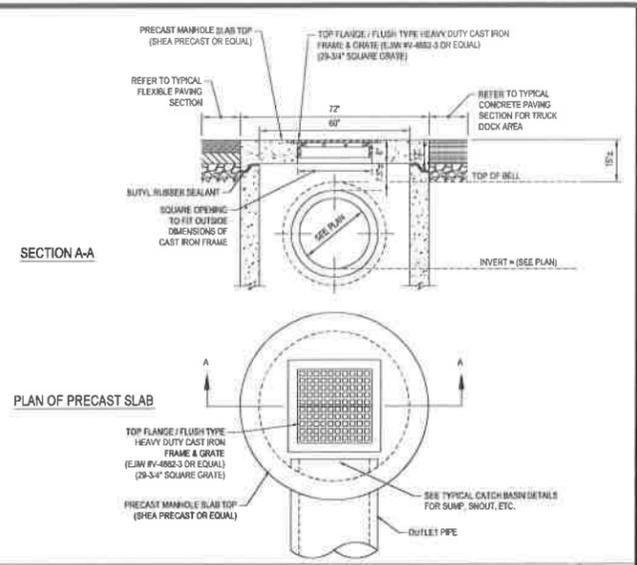
REV 4 - 08/09/2013

C:\Users\jdecoursey\Documents\13.Dwg - 4/22/2013 10:17:14 AM - 13.dwg



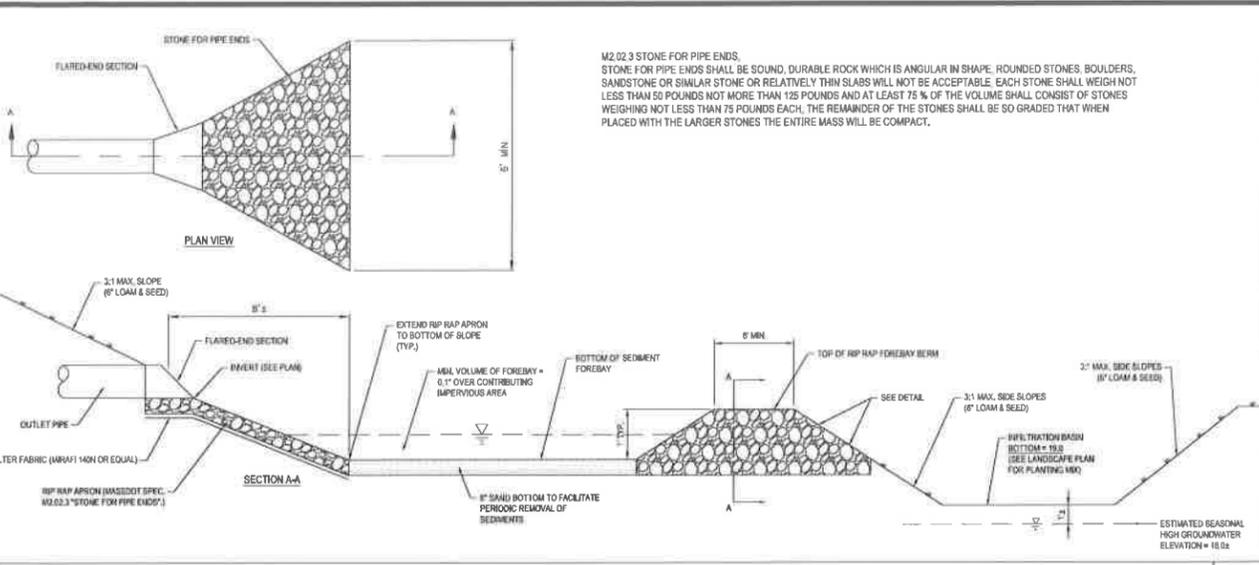
TYP. PRECAST CONCRETE MANHOLE STORM DRAIN

N.T.S.



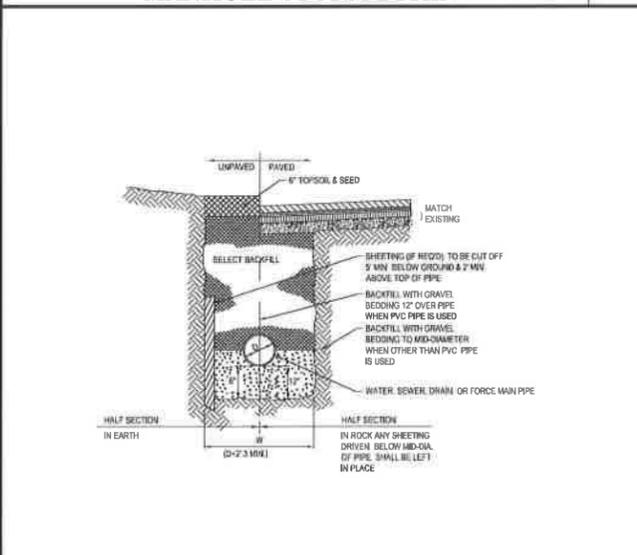
SLAB TOP FOR SHALLOW PRECAST CONCRETE AND DRAIN MANHOLES

N.T.S.



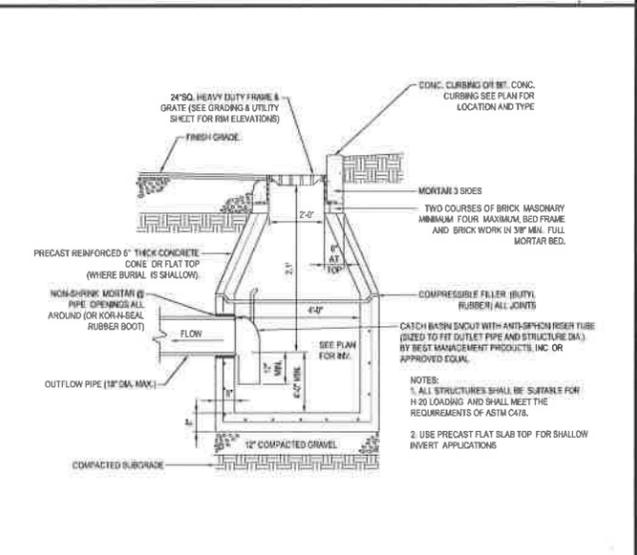
SECTION THROUGH PIPE END, SEDIMENT FOREBAY AND INFILTRATION BASIN

N.T.S.



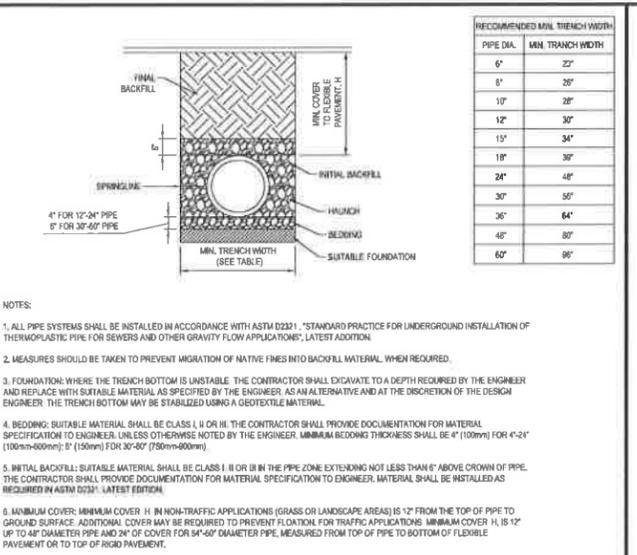
TYPICAL UTILITY TRENCH

N.T.S.



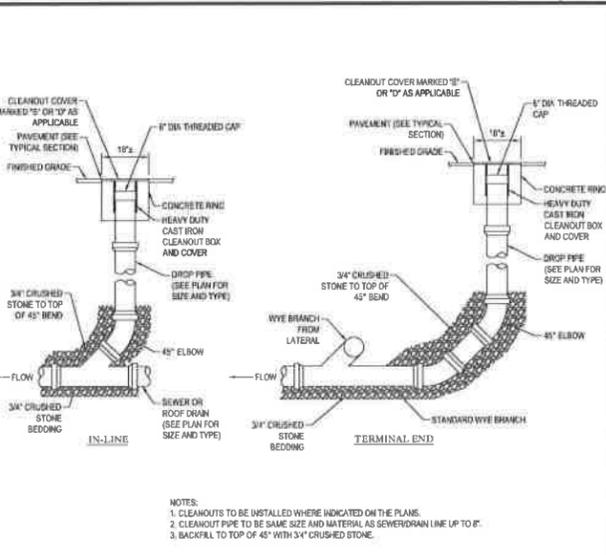
PRECAST CONCRETE DEEP SUMP CATCH BASIN DETAIL

N.T.S.



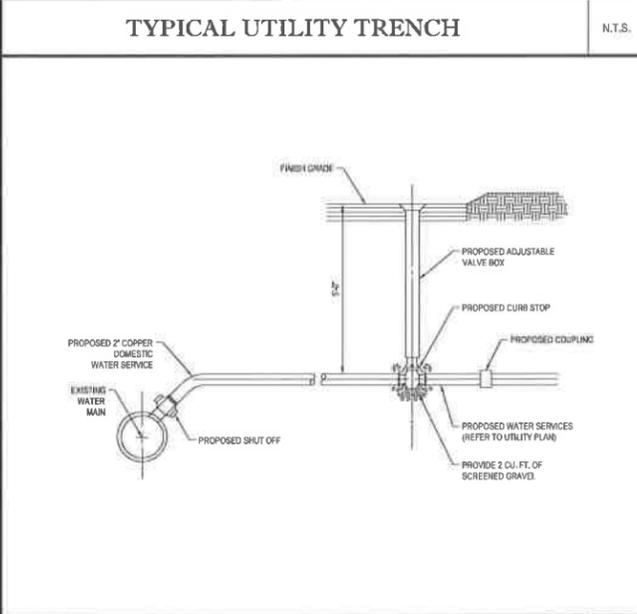
HDPE STORM DRAINAGE TRENCH

N.T.S.



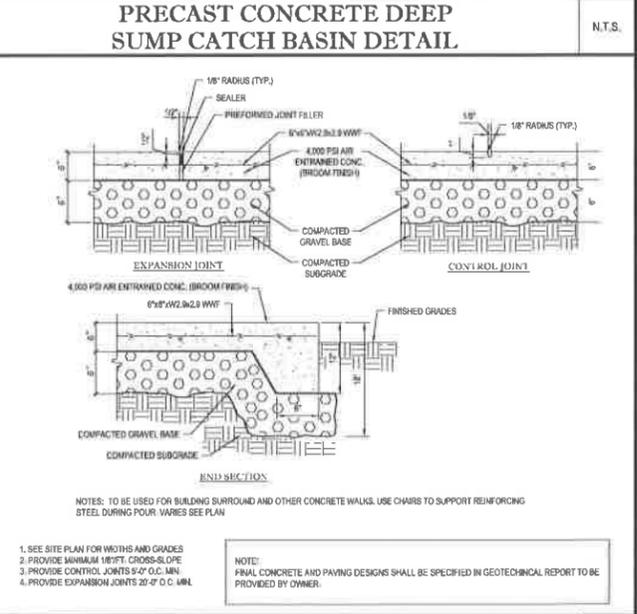
SEWER/ROOF DRAIN CLEANOUT

N.T.S.



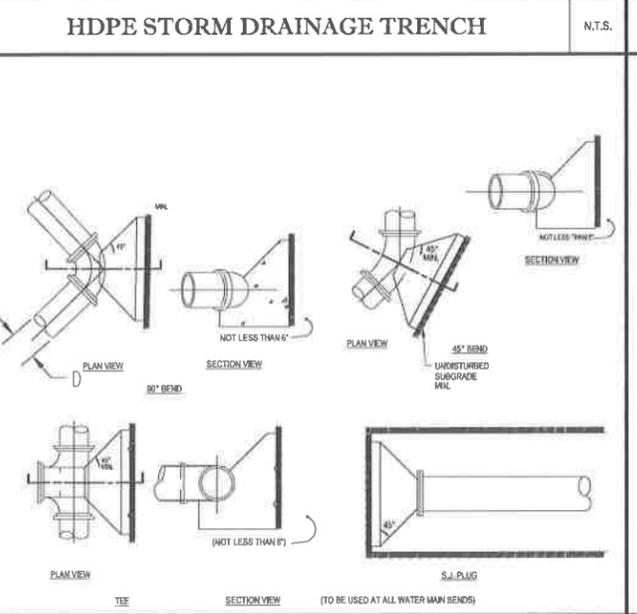
WATER SERVICE CONNECTION DETAIL

N.T.S.



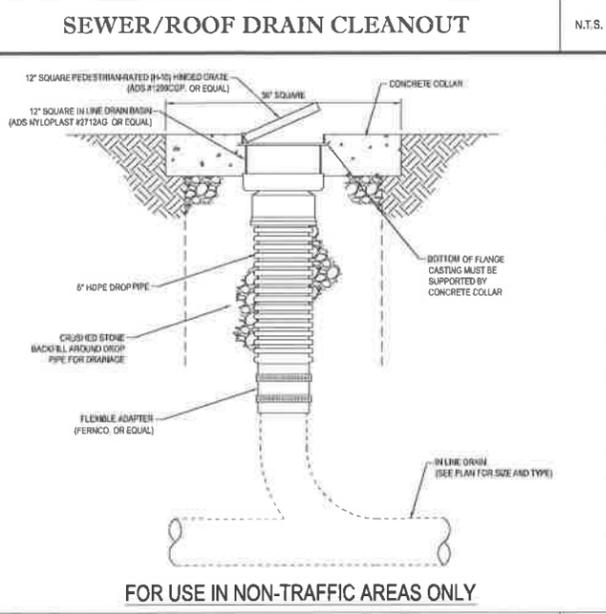
ON-SITE CONCRETE SIDEWALK DETAIL

N.T.S.



THRUST BLOCK DETAILS

N.T.S.



INLINE AREA DRAIN DETAIL

N.T.S.

BOHLER ENGINEERING

CORPORATE OFFICE:
WARREN, NJ

OFFICES:
BOSTON, MA
PHILADELPHIA, PA
BALTIMORE, MD
STONINGTON, VA
PORTLAND, ME
PORTLAND, OR
PORTLAND, ME
PORTLAND, ME
PORTLAND, ME
PORTLAND, ME

CIVIL & CONSULTING ENGINEERS
SURVEYORS
PROJECT MANAGERS
ENVIRONMENTAL CONSULTANTS
LANDSCAPE ARCHITECTS

REVISIONS

REV	DATE	COMMENT	BY
1	4/1/13	REVISED BUILDING	MNS
2	5/30/13	REVISED SITE LAYOUT	MNS
3	6/26/13	FUTURE PARKING AREA	MNS
4	9/16/13	PLANNING BOARD COMMENTS	MNS
5			
6			
7			
8			
9			
10			
11			
12			
13			
14			
15			

PERMIT SET

PROJECT No: W090662
DRAWN BY: CHD
CHECKED BY: MNS/MLD
DATE: 07/27/2012
SCALE: SEE PLAN
CAD ID: W090662d

SITE PLAN DOCUMENTS FOR

LONGHORN

LOCATION OF SITE
LOTS #48, 121 & 144, PLAT #8
100 HIGHLAND AVENUE
(A.K.A. U.S. ROUTE 6)
TOWN OF SEEKONK
BRISTOL COUNTY
MASSACHUSETTS

BOHLER ENGINEERING

352 TURNPIKE ROAD
SOUTHBOROUGH, MA 01772
Phone: (508) 480-9600
Fax: (508) 480-9600
www.BohlerEngineering.com

S.P. DECOURSEY

PROFESSIONAL ENGINEER
MASSACHUSETTS LICENSE NO. 20424
NEW HAMPSHIRE LICENSE NO. 8508
MAINE LICENSE NO. 8408
VERMONT LICENSE NO. 7110
CONNECTICUT LICENSE NO. 23882
RHODE ISLAND LICENSE NO. 1980

SHEET TITLE:
CONSTRUCTION DETAIL SHEET

SHEET NUMBER:
14
OF 14

REV 4 - 08/09/2013

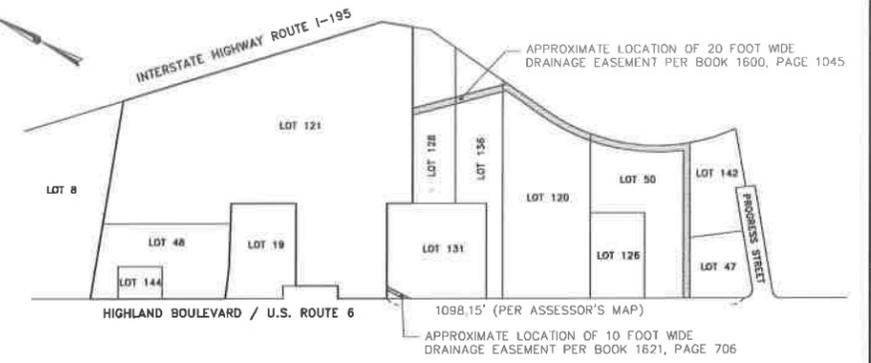
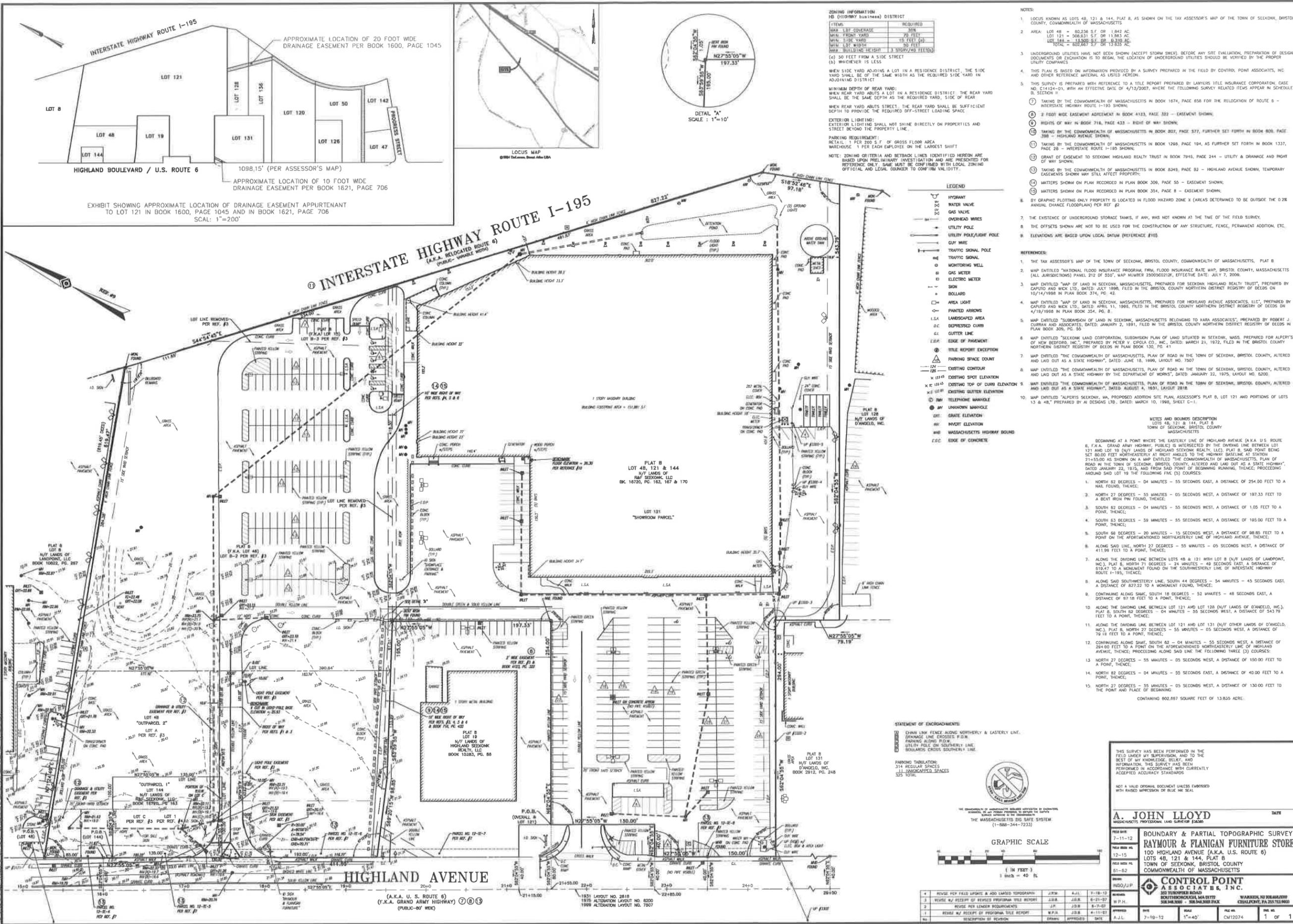
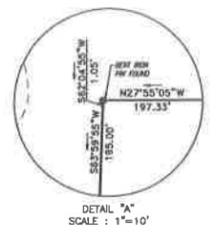


EXHIBIT SHOWING APPROXIMATE LOCATION OF DRAINAGE EASEMENT APPURTENANT TO LOT 121 IN BOOK 1600, PAGE 1045 AND IN BOOK 1621, PAGE 706
SCALE: 1"=200'



ZONING INFORMATION
 (HIGHWAY BUSINESS) DISTRICT

ITEM	REQUIRED
MIN. LOT COVERAGE	50%
MIN. FRONT YARD SETBACK	25 FEET
MIN. SIDE YARD SETBACK	15 FEET (5)
MIN. REAR YARD SETBACK	20 FEET
MIN. BUILDING HEIGHT	1 STORY/20 FEET (6)

(c) 50 FEET FROM A SIDE STREET
 (d) WHICHEVER IS LESS

WHEN SIDE YARD ADJOINS A LOT IN A RESIDENCE DISTRICT, THE SIDE YARD SHALL BE OF THE SAME WIDTH AS THE REQUIRED SIDE YARD IN ADJOINING DISTRICT

MINIMUM DEPTH OF REAR YARD:
 WHEN REAR YARD ADJUTS A LOT IN A RESIDENCE DISTRICT, THE REAR YARD SHALL BE THE SAME DEPTH AS THE REQUIRED REAR YARD IN ADJOINING DISTRICT

WHEN REAR YARD ADJUTS STREET: THE REAR YARD SHALL BE SUFFICIENT DEPTH TO PROVIDE THE REQUIRED OFF-STREET LOADING SPACE

EXTERIOR LIGHTING:
 EXTERIOR LIGHTING SHALL NOT SHINE DIRECTLY ON PROPERTIES AND STREET BEYOND THE PROPERTY LINE.

PARKING REQUIREMENT:
 RETAIL: 1 PER 200 S.F. OF GROSS FLOOR AREA
 WAREHOUSE: 1 PER EACH EMPLOYEE ON THE LARGEST SHIFT

NOTE: ZONING CRITERIA AND SETBACK LINES IDENTIFIED HEREON ARE BASED UPON PRELIMINARY INVESTIGATION AND ARE PRESENTED FOR REFERENCE ONLY. SAME MUST BE CONFIRMED WITH LOCAL ZONING OFFICIAL AND LEGAL COUNSEL TO CONFIRM VALIDITY.

- NOTES:**
- LOCUS KNOWN AS LOTS 48, 121 & 144, PLAT B, AS SHOWN ON THE TAX ASSESSOR'S MAP OF THE TOWN OF SEEKONK, BRISTOL COUNTY, COMMONWEALTH OF MASSACHUSETTS
 - AREA: LOT 48 = 80,236 S.F. OR 1.842 AC
 LOT 121 = 508,631 S.F. OR 11.683 AC
 TOTAL = 628,867 S.F. OR 14.525 AC
 - UNDERGROUND UTILITIES HAVE NOT BEEN SHOWN (EXCEPT STORM SEWER), BEFORE ANY SITE EVALUATION, PREPARATION OF DESIGN DOCUMENTS OR EXCAVATION IS TO BEGAIN, THE LOCATION OF UNDERGROUND UTILITIES SHOULD BE VERIFIED BY THE PROPER UTILITY COMPANIES
 - THIS PLAN IS BASED ON INFORMATION PROVIDED BY A SURVEY PREPARED IN THE FIELD BY CONTROL POINT ASSOCIATES, INC. AND OTHER REFERENCE MATERIAL AS LISTED HEREON.
 - THIS SURVEY IS PREPARED WITH REFERENCE TO A TITLE REPORT PREPARED BY LAWYERS TITLE INSURANCE CORPORATION, CASE NO. C14124-01, WITH AN EFFECTIVE DATE OF 4/15/2007, WHERE THE FOLLOWING SURVEY RELATED ITEMS APPEAR IN SCHEDULE B, SECTION II:
 - TAKING BY THE COMMONWEALTH OF MASSACHUSETTS IN BOOK 1674, PAGE 658 FOR THE RELOCATION OF ROUTE 6 - INTERSTATE HIGHWAY ROUTE I-195 SHOWN;
 - 2 FOOT WIDE EASEMENT AGREEMENT IN BOOK 4123, PAGE 332 - EASEMENT SHOWN;
 - RIGHTS OF WAY IN BOOK 316, PAGE 433 - RIGHT OF WAY SHOWN;
 - TAKING BY THE COMMONWEALTH OF MASSACHUSETTS IN BOOK 307, PAGE 377, FURTHER SET FORTH IN BOOK 309, PAGE 388 - HIGHLAND AVENUE SHOWN;
 - TAKING BY THE COMMONWEALTH OF MASSACHUSETTS IN BOOK 1268, PAGE 184, AS FURTHER SET FORTH IN BOOK 1337, PAGE 28 - INTERSTATE ROUTE I-195 SHOWN;
 - GRANT OF EASEMENT TO SEEKONK HIGHLAND REALTY TRUST IN BOOK 7946, PAGE 244 - UTILITY & DRAINAGE AND RIGHT OF WAY SHOWN;
 - TAKING BY THE COMMONWEALTH OF MASSACHUSETTS IN BOOK 8349, PAGE 82 - HIGHLAND AVENUE SHOWN, TEMPORARY EASEMENTS SHOWN MAY STILL AFFECT PROPERTY;
 - MATTERS SHOWN ON PLAN RECORDED IN PLAN BOOK 309, PAGE 55 - EASEMENT SHOWN;
 - MATTERS SHOWN ON PLAN RECORDED IN PLAN BOOK 354, PAGE 8 - EASEMENT SHOWN;
 - BY GRAPHIC PLOTTING ONLY PROPERTY IS LOCATED IN FLOOD HAZARD ZONE X (AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN) PER REF. #2.
 - THE EXISTENCE OF UNDERGROUND STORAGE TANKS, IF ANY, WAS NOT KNOWN AT THE TIME OF THE FIELD SURVEY.
 - THE OFFSETS SHOWN ARE NOT TO BE USED FOR THE CONSTRUCTION OF ANY STRUCTURE, FENCE, PERMANENT ADDITION, ETC.
 - ELEVATIONS ARE BASED UPON LOCAL DATUM (REFERENCE #18).

- LEGEND**
- HYDRANT
 - WATER VALVE
 - GAS VALVE
 - OVERHEAD WIRE
 - UTILITY POLE
 - UTILITY POLE/LIGHT POLE
 - GUY WIRE
 - TRAFFIC SIGNAL POLE
 - TRAFFIC SIGNAL
 - MONITORING WELL
 - GAS METER
 - ELECTRIC METER
 - SOIL
 - ROLLBAR
 - AREA LIGHT
 - PAINTED ARROWS
 - LANDSCAPED AREA
 - DEPRESSED CURB
 - GUTTER LINE
 - EDGE OF PAVEMENT
 - TITLE REPORT EXCEPTION
 - PARKING SPACE COUNT
 - EXISTING CONTOUR
 - EXISTING SPOT ELEVATION
 - EXISTING TOP OF CURB ELEVATION
 - EXISTING GUTTER ELEVATION
 - TELEPHONE MANHOLE
 - UNKNOWN MANHOLE
 - GRAVE ELEVATION
 - INVERT ELEVATION
 - MASSACHUSETTS HIGHWAY BOUND
 - EDGE OF CONCRETE

REFERENCES:

- THE TAX ASSESSOR'S MAP OF THE TOWN OF SEEKONK, BRISTOL COUNTY, COMMONWEALTH OF MASSACHUSETTS, PLAT B
- MAP ENTITLED "NATIONAL FLOOD INSURANCE PROGRAM FIRM FLOOD INSURANCE RATE MAP, BRISTOL COUNTY, MASSACHUSETTS (ALL JURISDICTIONS) PANEL 212 OF 550", MAP NUMBER 29050C02128, EFFECTIVE DATE: JULY 7, 2009.
- MAP ENTITLED "MAP OF LAND IN SEEKONK, MASSACHUSETTS, PREPARED FOR SEEKONK HIGHLAND REALTY TRUST", PREPARED BY CAPUTO AND WICK LTD., DATED: JULY 1990, FILED IN THE BRISTOL COUNTY NORTHERN DISTRICT REGISTRY OF DEEDS ON 10/14/1998 IN PLAN BOOK 774, PG. 42.
- MAP ENTITLED "MAP OF LAND IN SEEKONK, MASSACHUSETTS, PREPARED FOR HIGHLAND AVENUE ASSOCIATES, LLC", PREPARED BY CAPUTO AND WICK LTD., DATED: APRIL 11, 1998, FILED IN THE BRISTOL COUNTY NORTHERN DISTRICT REGISTRY OF DEEDS ON 4/19/1998 IN PLAN BOOK 354, PG. 8.
- MAP ENTITLED "SUBDIVISION OF LAND IN SEEKONK, MASSACHUSETTS BELONGING TO KARA ASSOCIATES", PREPARED BY ROBERT J. CURRY AND ASSOCIATES, DATED: JANUARY 2, 1991, FILED IN THE BRISTOL COUNTY NORTHERN DISTRICT REGISTRY OF DEEDS IN PLAN BOOK 309, PG. 55.
- MAP ENTITLED "SEEKONK LAND CORPORATION, SUBDIVISION PLAN OF LAND SITUATED IN SEEKONK, MASS., PREPARED FOR ALPERT'S OF NEW BEDFORD, INC.", PREPARED BY PETER V. COPOLA CO., INC., DATED: MARCH 21, 1972, FILED IN THE BRISTOL COUNTY NORTHERN DISTRICT REGISTRY OF DEEDS IN PLAN BOOK 130, PG. 41.
- MAP ENTITLED "THE COMMONWEALTH OF MASSACHUSETTS, PLAN OF ROAD IN THE TOWN OF SEEKONK, BRISTOL COUNTY, ALTERED AND Laid OUT AS A STATE HIGHWAY", DATED: JUNE 16, 1896, LAYOUT NO. 7507.
- MAP ENTITLED "THE COMMONWEALTH OF MASSACHUSETTS, PLAN OF ROAD IN THE TOWN OF SEEKONK, BRISTOL COUNTY, ALTERED AND Laid OUT AS A STATE HIGHWAY BY THE DEPARTMENT OF WORKS", DATED: JANUARY 22, 1975, LAYOUT NO. 8200.
- MAP ENTITLED "THE COMMONWEALTH OF MASSACHUSETTS, PLAN OF ROAD IN THE TOWN OF SEEKONK, BRISTOL COUNTY, ALTERED AND Laid OUT AS A STATE HIGHWAY", DATED: AUGUST 4, 1931, LAYOUT 3018.
- MAP ENTITLED "ALPERT'S SEEKONK, MA, PROPOSED ADDITION SITE PLAN, SEEKONK'S PLAT B, LOT 121 AND PORTIONS OF LOTS 13 & 48", PREPARED BY AL DESIGNS LTD., DATED: MARCH 10, 1998, SHEET C-1.

METES AND BOUNDS DESCRIPTION
 LOTS 48, 121 & 144, PLAT B
 TOWN OF SEEKONK, BRISTOL COUNTY
 MASSACHUSETTS

BEGINNING AT A POINT WHERE THE EASTERLY LINE OF HIGHLAND AVENUE (A.K.A. U.S. ROUTE 6, F.K.A. GRAND ARMY HIGHWAY, PUBLIC) IS INTERSECTED BY THE DIVING LINE BETWEEN LOT 121 AND LOT 19 (N/2 LANDS OF HIGHLAND SEEKONK REALTY, LLC), PLAT B, SAID POINT BEING 80.00 FEET NORTHEASTERLY AT RIGHT ANGLES TO THE HIGHWAY BASELINE AT STATION 21455.00 AS SHOWN ON A MAP ENTITLED "THE COMMONWEALTH OF MASSACHUSETTS, PLAN OF ROAD IN THE TOWN OF SEEKONK, BRISTOL COUNTY, ALTERED AND Laid OUT AS A STATE HIGHWAY", DATED: JANUARY 22, 1975, AND FROM SAID POINT OF BEGINNING RUNNING, THENCE; PROCEEDING AROUND SAID LOT 19 THE FOLLOWING FIVE (5) COURSES:

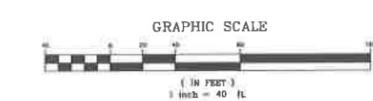
- NORTH 62 DEGREES - 04 MINUTES - 55 SECONDS EAST, A DISTANCE OF 254.00 FEET TO A NAIL FOUND, THENCE;
- NORTH 27 DEGREES - 55 MINUTES - 05 SECONDS WEST, A DISTANCE OF 197.33 FEET TO A BEAR FROM THE FOUND, THENCE;
- SOUTH 63 DEGREES - 04 MINUTES - 55 SECONDS WEST, A DISTANCE OF 1.05 FEET TO A POINT, THENCE;
- SOUTH 63 DEGREES - 59 MINUTES - 55 SECONDS WEST, A DISTANCE OF 195.00 FEET TO A POINT, THENCE;
- SOUTH 68 DEGREES - 20 MINUTES - 15 SECONDS WEST, A DISTANCE OF 98.80 FEET TO A POINT ON THE AFORESAID NORTHEASTERLY LINE OF HIGHLAND AVENUE, THENCE;
- ALONG SAID LINE, NORTH 27 DEGREES - 55 MINUTES - 05 SECONDS WEST, A DISTANCE OF 411.98 FEET TO A POINT, THENCE;
- ALONG THE DIVING LINE BETWEEN LOTS 48 & 121 WITH LOT B (N/2 LANDS OF LANDPOINT, INC.), PLAT B, NORTH 71 DEGREES - 24 MINUTES - 48 SECONDS EAST, A DISTANCE OF 618.47 TO A MONUMENT FOUND ON THE SOUTHWESTERLY LINE OF INTERSTATE HIGHWAY ROUTE I-195, THENCE;
- ALONG SAID SOUTHWESTERLY LINE, SOUTH 44 DEGREES - 54 MINUTES - 45 SECONDS EAST, A DISTANCE OF 827.22 TO A MONUMENT FOUND, THENCE;
- CONTINUING ALONG SAID, SOUTH 18 DEGREES - 52 MINUTES - 48 SECONDS EAST, A DISTANCE OF 87.18 FEET TO A POINT, THENCE;
- ALONG THE DIVING LINE BETWEEN LOT 121 AND LOT 128 (N/2 LANDS OF O'NEAL, INC.), PLAT B, SOUTH 82 DEGREES - 04 MINUTES - 35 SECONDS WEST, A DISTANCE OF 543.79 FEET TO A POINT, THENCE;
- ALONG THE DIVING LINE BETWEEN LOT 121 AND LOT 131 (N/2 OTHER LANDS OF O'NEAL, INC.), PLAT B, NORTH 27 DEGREES - 55 MINUTES - 05 SECONDS WEST, A DISTANCE OF 79.18 FEET TO A POINT, THENCE;
- CONTINUING ALONG SAID, SOUTH 82 - 04 MINUTES - 35 SECONDS WEST, A DISTANCE OF 284.00 FEET TO A POINT ON THE AFORESAID NORTHEASTERLY LINE OF HIGHLAND AVENUE, THENCE; PROCEEDING ALONG SAID LINE THE FOLLOWING THREE (3) COURSES:
- NORTH 27 DEGREES - 55 MINUTES - 05 SECONDS WEST, A DISTANCE OF 150.00 FEET TO A POINT, THENCE;
- NORTH 82 DEGREES - 04 MINUTES - 55 SECONDS EAST, A DISTANCE OF 40.00 FEET TO A POINT, THENCE;
- NORTH 27 DEGREES - 55 MINUTES - 05 SECONDS WEST, A DISTANCE OF 130.00 FEET TO THE POINT AND PLACE OF BEGINNING.

CONTAINING 802,867 SQUARE FEET OF 13.835 ACRES.

STATEMENT OF ENCROACHMENTS:

CHAIN LINK FENCE ALONG NORTHERLY & EASTERLY LINE.
 PARKING ALONG ROAD.
 UTILITY POLE ON SOUTHERLY LINE.
 BOUNDARIES CROSS SOUTHERLY LINE.

PARKING TABULATION:
 314 REGULAR SPACES
 11 UNMAPPED SPACES
 325 TOTAL



THIS SURVEY HAS BEEN PERFORMED IN THE FIELD UNDER MY SUPERVISION, AND TO THE BEST OF MY KNOWLEDGE, BELIEF, AND INFORMATION, THIS SURVEY HAS BEEN PERFORMED IN ACCORDANCE WITH CURRENTLY ACCEPTED PROFESSIONAL STANDARDS.

NOT A VALID ORIGINAL DOCUMENT UNLESS EMBOSSED WITH RAYDED IMPRESSION ON BLUE INK SEAL.

A. JOHN LLOYD
 MASSACHUSETTS PROFESSIONAL LAND SURVEYOR #3436

BOUNDARY & PARTIAL TOPOGRAPHIC SURVEY
RAYMOUR & FLANIGAN FURNITURE STORE
 100 HIGHLAND AVENUE (A.K.A. U.S. ROUTE 6)
 LOTS 48, 121 & 144, PLAT B
 TOWN OF SEEKONK, BRISTOL COUNTY
 COMMONWEALTH OF MASSACHUSETTS

CONTROL POINT
 314 HIGHLAND ROAD
 SEEKONK, MASSACHUSETTS 01970
 508-344-7233

DATE: 7-11-12
 PLAN NO.: 12-15
 SHEET NO.: 81-62

REVISIONS:

NO.	DESCRIPTION	DATE
1	REVISE PER FIELD LAYOUT & ADD LIMITED TOPOGRAPHY	J.L.L. 7-11-12
2	REVISE W/ RECEIPT OF REVISION PROGRAM FILE REPORT	J.L.L. 8-21-12
3	REVISE PER LENDER REQUIREMENTS	J.P. J.O.B. 8-7-12
4	REVISE W/ RECEIPT OF PROGRAM FILE REPORT	M.P.H. J.O.B. 8-11-12

APPROVED: A.J.L. 7-16-12

SCALE: 1"=40'

CM12074

1 OF 1



Planning Board
100 PECK STREET
SEEKONK, MASSACHUSETTS 02771
1-508-336-2961

MEMORANDUM

To: The Planning Board

From: John P. Hansen Jr., AICP, Town Planner

Date: August 27, 2013

Re: Orchard Estates – Partial Covenant Release

The applicant for Orchard Estates has requested a partial covenant release for said subdivision. The original construction cost estimate of ±\$260K has been reduced to ±\$60K based on the work that has been completed by the applicant and inspected and approved by the Board's inspector, GPI. The remaining work includes top-course of asphalt application, street tree installation, and final site prep work.

The method of surety proposed by the developer is to keep a covenant on lot 1 and release the covenant from lots 7 & 8. Based on the average purchase price of other subdivision lots this year in town at \$142K, a covenant for 1 lot appears to be adequate to cover the remaining construction costs. This office would recommend releasing the covenants on lots 7 & 8 in Orchard Estates.

TOWN OF SEEKONK
Planning Board

MEMORANDUM

To: The Planning Board

From: John P. Hansen Jr., AICP, Town Planner

Date: September 3, 2013

Re: August monthly report

BYLAWS

Zoning Bylaw rewrite

- First draft of zoning bylaw reorganization and signage section completed and being reviewed by Town Counsel;

PLANS

Master Plan

- Implementation on-going

MISC

Luthers Corners Safety Improvement Project

- Kick-off meeting held with GPI; To prepare design plans for State review.

Medical Marijuana Treatment Centers Zoning Bylaw

- Public hearing to be held in January; To be on 2014 Spring TM.

GIS

- Completing town-wide wetlands GIS file based ConCom approved plans.

SUBDIVISIONS

Orchard Estates

- Binder course of asphalt installed

Tall Pines

- Binder course of asphalt installed

Madison Estates

- Binder course of asphalt installed

Caleb Estates

- Binder course of asphalt installed

Ricard St. Extension

- Binder course of asphalt installed

Pine Hill Estates

- Surety established; Clearing of land begun.

Jacob Hill Estates

- Definitive Plan submitted; Public hearing on 9/10

Country Brook Estates

- Definitive Plan approved

Summer Meadows

- Preliminary Plan approved

SITE PLANS

Longhorn

- Site Plan Review on 9/10

Senior Center

- Plan approved pending drainage review

SEEKONK PLANNING BOARD
Regular Meeting Minutes
August 27, 2013

Present: Ch. Abelson, M. Bourque, R. Bennett, R. Horsman, S. Foulkes, D. Viera (arrived 7:20PM)
J. Hansen, Town Planner
Absent: L. Dunn (with cause)
7:00 pm Ch. Abelson called the meeting to order.

Partial Covenant Release: Tall Pines – Stonegate Builders

J. Hansen summarized that the applicant has completed the binder course and is building houses. He went on to say that the original construction cost estimate of \$750K had been reduced to \$100k based on work that had been completed and inspected and approved by the Planning Board's inspector, GPI. He said the remaining work included a top-course of asphalt and final site prep work. He said to establish surety on that it would be a covenant of one lot which will be lot 6.

A motion was made by R. Horsman and seconded by M. Bourque and it was unanimously

VOTED: to approve establishing a covenant on lot 6 and releasing covenants on lots 5 & 7, for Tall Pines subdivision. (5-0)

Partial Covenant Release: Caleb Estates – DeCastro Builders

J. Hansen summarized that the applicant was requesting a partial covenant release. He said the original construction cost estimate of \$280K had been reduced to \$50K based on work that had been completed by applicant and inspected by the Planning Board's inspector. He said the remaining work included a top-course of asphalt and final site prep work. He said the method of surety proposed would be to put a covenant on lot 2 and release the covenants from lots 1 & 3.

A motion was made by M. Bourque and seconded by R. Horsman and it was unanimously

VOTED: To approve establishing a covenant on lot 2 and releasing covenants on lots 1 & 3, for Caleb Estates. (5-0)

Form A: Pine Hill Estates: Najas Realty

J. Hansen summarized that the applicant was proposing to amend lot lines to increase the sizes of lots 688 & 691 (parcels 5&9) and decrease the size of lots 689 & 690 (parcels 6 & 7) but not affecting frontage of any lot.

A motion was made by R. Horsman and seconded by R. Bennett and it was unanimously

VOTED: to endorse the Form A: Pine Hill Estates as submitted. (5-0)

Form A: 21 Perrin Avenue: Greco

J. Hansen summarized the proposed lot amendments:

Abandon the paper street and give half to 31 Perrin Ave. owner and a quarter each to the owners of 21 Perrin Ave and 20 Thurber Ave. increasing frontage of each lot by 25'. He noted the purpose was to allow for more space to assist with septic replacement at 21 Perrin Ave.

A motion was made by R. Bennett and seconded by R. Horsman and it was unanimously

VOTED: to endorse the Form A: 21 Perrin Avenue as submitted. (5-0)

Partial Covenant Release: Ricard St. Extension

J. Hansen summarized that the applicant was requesting a partial covenant release. He said the original construction cost estimate of \$235K had been reduced to \$72K based on work that had been completed by applicant and inspected by the Planning Board's inspector. He said the remaining work included a top-course of asphalt and final site prep work.

A motion was made by R. Bennett and seconded by M. Bourque and it was unanimously

VOTED: to approve keeping a covenant on lot 2, and releasing the covenant on lot 4 for Ricard St. Extension. (5-0)

Form A: 14 Marion Street – Leo Marshall

J. Hansen summarized that the proposed lot amendments for 14 Marion St. would be to divide off approximately 1212 sq. ft of land in the rear of lot 26 and merge with lot 25.

A motion was made by D. Viera and seconded by R. Bennett and it was unanimously

VOTED: to endorse the Form A: 14 Marion St. (6-0)

Discussion: Zoning Bylaw Update

J. Hansen summarized that there were four things that were are being revised and reorganized. He noted that the zoning bylaws would not have any substantive changes, just updating the definition section, the dimensional table, dimensional regulations and a new "use" table.

J. Hansen reminded the board that when the Master Plan was updated the zoning bylaw update was the first a major phase of that update.

Other phases to the update process will be Signage and the Non-Conforming Section.

J. Hansen said he would go ahead and give this to the Town Administrator as well as have town counsel look at this and schedule the public hearing for September 24, 2013 7PM BOS room.

Correspondence:

J. Hansen noted to the Board a few items that will be heard at the September 10, 2013 PB meeting.

- Sr. Center parking plan
- Longhorn parking plan
- Definitive subdivision Jacob Hill Estates

Approval of Minutes: 7/9/13

A motion was made by D. Viera seconded by R. Bennett and it was unanimously

VOTED: to approve 7/9/13 Planning Board minutes with minor changes.
(6-0)

D. Viera requested an Executive Session to be held at the next PB meeting September 10, 2013 to discuss Pine Hill Estates.

Adjournment

A motion was made by D. Viera and seconded by R. Bennett and it was unanimously

VOTED: to adjourn at 7:40PM

Respectfully Submitted by,

Florice Craig