

Agenda

Town of Seekonk, MA Planning Board

04/12/16
7:00 PM
Seekonk Town Hall
BOS Meeting Room

Type of meeting: Planning Board Continued Public Hearing and Regular Meeting

Agenda topics – More information on each item can be found on our website – www.seekonk-ma.gov under Departments>Planning>Agenda Items

Public hearings

Continued Public Hearing on the application of Joseph Vieira, JMV Realy, LLC for definitive plan approval for Curt Street Extension, four lot subdivison of land located at the end of Curt Street, being AP 21, Lot 23 in the R-2 Zoning district
Joseph Vieira

Applications

Site Plan and ANR application for proposed medical office building at 1058 & 1080 Fall River Avenue being AP 7, Lots 15 & 16 located in a Highway Business Zoning District
Harry Leiser Revocable Trust/1058 Leiser, LLC

Modification of Covenant, Lot 1 Pine Hill Estates
Najas Realty, LLC

Modification of Covenant, Lot 1 Orchard Estates
Najas Realty, LLC

Country Brook Estates – Change Affordable Lot
Lot 18 to Lot 1
Costa Development, LLC

Spring Town Meeting Streets Proposed for acceptance:
1) Jane Howland Place
2) Betty's Way
3) Tall Pines Drive

Other Business

SRPEDD
Monthly Report
Correspondence
Approval of Minutes: 2/24/2016 & 3/8/2016
Adjournment
John Aubin

APR 6 '16 AM11:46



Planning Board

100 PECK STREET
SEEKONK, MASSACHUSETTS 02771
1-508-336-2961

MEMORANDUM

Date: April 12, 2016

To: Seekonk Planning Board

From: John J. Aubin III, Town Planner

Re: Continued public hearing for Curt Street Extension definitive subdivision application

At their March 8, 2016 meeting, the Planning Board held a continued public hearing on the referenced definitive subdivision application. After the presentation by the applicant, testimony from abutters and the Planning Board consulting engineer, and a discussion by the Planning Board the follow issues remain for further discussion:

1. Positions of the Fire Chief and Seekonk Water District relative to the fire safety access and water supply for the proposed four lot subdivision. Please see the attached correspondence and supporting documentation from the Town Planner, Fire Department and Water District. Additionally the latest plan revision was reviewed by the Town Planner and Fire Chief at the TRC meeting of March 30, 2015 and found to be in general compliance with the applicable NFPA standard for "fire access roads" and emergency vehicle access.
2. Adequacy of the soil percolation test for the site and specifically whether percolation tests expire under "Title 5" septic regulations of the Code of Massachusetts Regulations. Please see attach correspondence to and from the Board of Health confirming that percolation tests do not expire.
3. Applicability of the exemption provided for in the Massachusetts Stormwater Handbook for subdivisions of four lots or less particularly in regards to removal of total suspended solids (TSS) within the proposed stormwater management system. Attached please find copies of the pertinent portions of the handbook and revised plans incorporating catch basins to achieve the TTS removal standard.

Additionally the Planning Board held a discussion regarding the potential for convening in executive session regarding the potential for litigation resulting from the Planning Board's decision in the instant matter. Town Counsel has indicated that, barring a specific threat of litigation, it would be inappropriate and potentially a violation of the Open Meetings Act for a Planning Board to convene in executive session based on the potentiality of legal action versus a clear threat of legal action. Town Counsel will be in attendance at the continued public hearing to advise the Board on this topic or other legal questions the Board may have regarding the application. Attached please find the latest plan revision submitted by the project engineer together with the above referenced documents.

It is respectfully requested that the Planning Board make determinations on the follow findings of facts with regard to the proposed development based on the evidence presented by the applicant and other testimony and evidence before the Board:

- Pursuant to **Section V** that the applicant has met the requirements for the grant of a Certificate of Approval for the proposed Definitive Plan.
- Pursuant to **Section 7.1 General**, that the proposed development, as designed and laid out, meets the requirements of public safety including:
 1. Safe vehicular travel;
 2. Adequate storm drainage;
 3. Sewage disposal;
 4. Water supply;
 5. Utilities; and
 6. Precautions against natural disaster
- That the proposed Definitive Plan otherwise meets the requirements of the **Rules and Regulations Governing the Subdivision of Land in Seekonk Massachusetts** and **Sections 81k through 81GG of Chapter 41 of the General Law**

The following conditions are recommended should the Planning Board deem approval of the application appropriate:

1. Final Board of Health approval of the proposed wastewater treatment systems;
2. Final approval of all proposed utility extensions by the Seekonk Water District, Columbia Gas, National Grid and any other utility provider as appropriate;
3. The turnaround area on the eastern portion of the shared driveway shall be marked "No Parking";
4. Proper address and directional signage is to be provided at the start of the shared driveway at Curt Street directing responding emergency vehicles to subdivision lots 2 and 3;
5. Prior to the issuance of any building permits for subdivision lots 3 and 4, certification from a registered engineer shall be submitted to the Building Official with regard to the adequacy of the bridge, as designed and installed, to carry emergency vehicles and other heavy equipment;
6. All construction within the development shall strictly adhere to the drainage patterns and site grading as shown on the final, endorsed definitive subdivision plan;

7. Final resolution of any outstanding comments on the design of the stormwater management system between the Planning Board's consulting engineer and the project engineer;
8. Barring modification of this decision as provided for in **Section IX of the Rules and Regulations Governing the Subdivision of Land in the Town of Seekonk** and Chapter 41, general Laws Section 81Q; there shall be no further subdivision of the subject parcel than shown on the approved definitive subdivision plan, resulting in new lots for development; and
9. Any such other conditions the Planning Board may deem necessary to ensure compliance of the application with the applicable provisions of the **Rules and Regulations Governing the Subdivision of Land in the Town of Seekonk**.

Please note proposed conditions numbers 6 and 8 have been added in response to the issues identified during the public hearing.

Thank you.

5. For land uses with higher potential pollutant loads, source control and pollution prevention shall be implemented in accordance with the Massachusetts Stormwater Handbook to eliminate or reduce the discharge of stormwater runoff from such land uses to the maximum extent practicable. If through source control and/or pollution prevention all land uses with higher potential pollutant loads cannot be completely protected from exposure to rain, snow, snow melt, and stormwater runoff, the proponent shall use the specific structural stormwater BMPs determined by the Department to be suitable for such uses as provided in the Massachusetts Stormwater Handbook. Stormwater discharges from land uses with higher potential pollutant loads shall also comply with the requirements of the Massachusetts Clean Waters Act, M.G.L. c. 21, §§ 26-53 and the regulations promulgated thereunder at 314 CMR 3.00, 314 CMR 4.00 and 314 CMR 5.00.

6. Stormwater discharges within the Zone II or Interim Wellhead Protection Area of a public water supply, and stormwater discharges near or to any other critical area, require the use of the specific source control and pollution prevention measures and the specific structural stormwater best management practices determined by the Department to be suitable for managing discharges to such areas, as provided in the Massachusetts Stormwater Handbook. A discharge is near a critical area if there is a strong likelihood of a significant impact occurring to said area, taking into account site-specific factors. Stormwater discharges to Outstanding Resource Waters and Special Resource Waters shall be removed and set back from the receiving water or wetland and receive the highest and best practical method of treatment. A "storm water discharge" as defined in 314 CMR 3.04(2)(a)1 or (b) to an Outstanding Resource Water or Special Resource Water shall comply with 314 CMR 3.00 and 314 CMR 4.00. Stormwater discharges to a Zone I or Zone A are prohibited unless essential to the operation of a public water supply.

7. A redevelopment project is required to meet the following Stormwater Management Standards only to the maximum extent practicable: Standard 2, Standard 3, and the pretreatment and structural best management practice requirements of Standards 4, 5, and 6. Existing stormwater discharges shall comply with Standard 1 only to the maximum extent practicable. A redevelopment project shall also comply with all other requirements of the Stormwater Management Standards and improve existing conditions.

8. A plan to control construction-related impacts including erosion, sedimentation and other pollutant sources during construction and land disturbance activities (construction period erosion, sedimentation, and pollution prevention plan) shall be developed and implemented.

9. A long-term operation and maintenance plan shall be developed and implemented to ensure that stormwater management systems function as designed.

10. All illicit discharges to the stormwater management system are prohibited.

Applicability

Except as expressly provided herein, stormwater runoff from all industrial, commercial, institutional, office, residential and transportation projects including site preparation, construction and redevelopment, and all point source stormwater discharges from said projects shall be managed according to the Stormwater Management Standards.

The Stormwater Management Standards shall not apply to:

- (1) A single-family house;
- (2) Housing development and redevelopment projects comprised of detached single-family dwellings on four or fewer lots provided that there are no stormwater discharges that may potentially affect a critical area;

John Aubin

From: Healy, Michael [chief@seekonkfd.com]
Sent: Monday, March 21, 2016 2:01 PM
To: John Aubin
Subject: Curt St. extension

John:

As far as the hydrant location is was discussed with the developer and he is installing a new one at the entrance to the roadway, which will be about 700' from the last house, we carry 1000' feet of hose, so if the need arose we would have enough hose to reach and have water supply. Obviously we typically have hydrants about every three hundred feet apart through developments but with the conservation issues on this project I think that would be difficult to meet.

The roadway is classified in CMR 527, NFPA 1 as a Fire Department access road section 18.2.3 and subsequent subsections.

The following other sections apply 18.2.3.2 Access to buildings and all subsequent sections

18.2.3.4.1 Dimensions, which has been discussed with developer, there is a modification to the required twenty foot wide roadway, it will be twenty feet of pavement at the beginning of the roadway, then inside the conservation restricted area it will be fourteen feet with a hard packed side to that area, then back to twenty feet of pavement to the end of the roadway.

18.2.3.4.3. Turning Radius and subsequent subsections.

18.2.3.4.5 Bridges and subsequent subsections

If you need copies of any of this please let me know.

Chief Healy

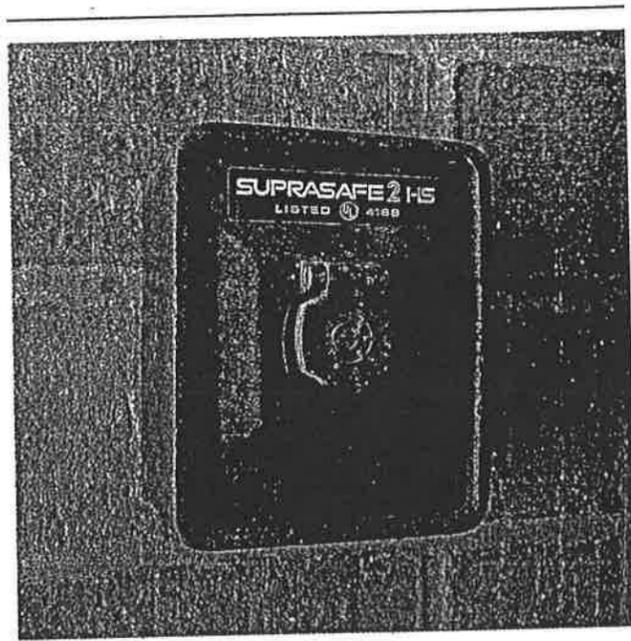


EXHIBIT 18.1 Typical access box.

operational procedures, the presence of fire protection systems, the hazards and hazardous materials present, and the nature of the occupancy and occupants.

18.2.2.2 Access to Gated Subdivisions or Developments. The AHJ shall have the authority to require fire department access be provided to gated subdivisions or developments through the use of an approved device or system.

Access to gated communities or other developments must comply with the same requirements for buildings or areas outlined in 18.2.2.1. Access gates might use card access readers, siren-operated devices, infrared receivers, or other approved

devices rather than keys. Exhibit 18.2 shows an example of a gate with an access box attached.

18.2.2.3 Access Maintenance. The owner or occupant of a structure or area, with required fire department access as specified in 18.2.2.1 or 18.2.2.2, shall notify the AHJ when the access is modified in a manner that could prevent fire department access.

Maintaining access devices is often difficult. During inspections and pre-fire planning, the access devices should be checked to ensure that they contain the proper keys or devices. The on-site maintenance personnel may be aware of changes that might have been forgotten by the building owner or with which the owner is not familiar. All owners of a building with an access box and area locksmiths should be notified by a letter informing them that they should contact the fire department when any front door or other specified locks are changed. This process should help in ensuring that appropriate keys are available when needed. Jurisdictions should also consider issuing a permit for the initial installation of an access device to ensure it is installed in accordance with the manufacturer's installation instructions and meets the jurisdiction's specifications. Permitting will also assist in creating a database that can be utilized for future maintenance checks by the fire department.

18.2.3 Fire Department Access Roads.

18.2.3.1 Required Access.

18.2.3.1.1 Approved fire department access roads shall be provided for every facility, building, or portion of a building hereafter constructed or relocated.

To provide effective manual fire suppression operations, the fire department must be able to gain reasonable access to a building. Paragraph 18.2.3.1.1 addresses this need by requiring

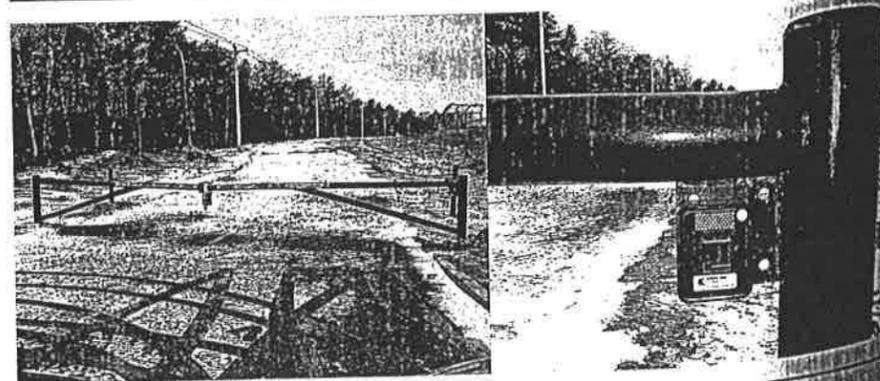


EXHIBIT 18.2 Example of gate access and access box.

department access roads to all new facilities and buildings. A fire department access road, such as the one shown in Exhibit 18.3, can be a public or private roadway that meets the requirements of 18.2.3 and is not mandated to be marked as a fire department access unless so required by the authority having jurisdiction (AHJ).

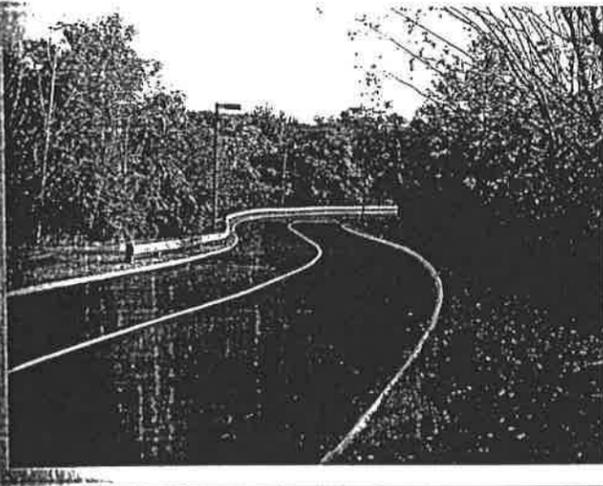


EXHIBIT 18.3 Fire department access road.

Note that 18.2.3.1.1 requires fire department access only for newly constructed or relocated buildings and facilities. The Code does not require the modification of previously approved access to existing buildings to meet the current Code requirements of 18.2.3.1.1. Maintaining existing access is addressed in 18.2.3.2.

Buildings under construction are addressed in 16.1.4, which requires that a fire lane be provided and maintained during building construction.

18.2.3.1.2 Fire department access roads shall consist of fire lanes, parking lot lanes, or a combination

of these. Fire lanes are considered fire apparatus access roads, which shall be marked in accordance with 18.2.3.5. A fire lane is defined in 3.3.123.

18.2.3.1.3* The provisions of 18.2.3.1 through 18.2.3.2.2.1 shall be permitted to be modified by the AHJ where any of the following conditions exists:

(1) One- and two-family dwellings protected by an approved automatic sprinkler system in accordance with Section 13.11.

(2) One- and two-family dwellings

(3) Carports having an area not exceeding 400 ft²

- (4) Carports having an area not exceeding 400 ft²
- (5) Agricultural buildings having an area not exceeding 400 ft²
- (6) Sheds and other detached buildings having an area not exceeding 400 ft²

A.18.2.3.1.3 The intent of 18.2.3.1.3 is to not require fire department access roads to detached gazebos and ramadas, independent buildings associated with golf courses, parks, and similar uses such as restrooms or snack shops that are 400 ft² (37 m²) or less in area, and detached equipment or storage buildings for commercial use that are 400 ft² (37 m²) or less in area.

18.2.3.1.4 When fire department access roads cannot be installed due to location on property, topography, waterways, nonnegotiable grades, or other similar conditions, the AHJ shall be authorized to require additional fire protection features.

Site conditions or unique structural designs can result in a fire department access road design that does not meet the specific requirements of this Code. An example of such a situation would be a group of zero lot line buildings in a downtown with no access to the sides or rear. Paragraph 18.2.3.1.4 recognizes such situations are sometimes unavoidable from a design standpoint. In these circumstances, the AHJ is authorized to require additional fire protection to offset the increased hazard or the delays created by an access road design that does not comply with 18.2.3. For example, additional fire protection could be in the form of an automatic sprinkler system where not otherwise required.

18.2.3.2 Access to Building.

18.2.3.2.1 A fire department access road shall extend to within 50 ft (15 m) of at least one exterior door that can be opened from the outside and that provides access to the interior of the building.

Fire department access roads are required so that fire apparatus can drive within 50 ft (15 m) of an exterior door that allows access to the interior of the building.

Fire departments typically carry 150 ft or 200 ft (46 m or 61 m), or both, of pre-connected hose lines on their apparatus. The access design configuration required in 18.2.3.2 allows fire fighters to quickly extend pre-connected hose lines into the building from fire apparatus. If the fire apparatus can access the building within 50 ft (15 m), fire fighters can extend hose lines 100 ft to 150 ft (30 m to 46 m) into the building without undue delay.

In a multiple-tenant building, the exterior door should be placed at a location that allows access to a common hall or common lobby area, or to the largest tenant area if the

building does not have a common interior area. In single-tenant buildings, the exterior door should be placed at a location that allows unobstructed access to the tenant floor area.

18.2.3.2.1.1 Where a one- or two-family dwelling, or townhouse, is protected with an approved automatic sprinkler system that is installed in accordance with NFPA 13D or NFPA 13R, as applicable, the distance in 18.2.3.2.1 shall be permitted to be increased to 150 ft (46 m).

This section recognizes that the presence of automatic sprinkler protection in one- and two-family dwellings and townhouses significantly reduces the risk to the occupants and fire fighters along with reducing the consequences of a fire when fire occurs. Due to this significantly reduced risk, the distance to the exterior door can be increased while maintaining an improved level of building and life safety protection.

18.2.3.2.2 Fire department access roads shall be provided such that any portion of the facility or any portion of an exterior wall of the first story of the building is located not more than 150 ft (46 m) from fire department access roads as measured by an approved route around the exterior of the building or facility.

Fire department access is essential to providing effective manual fire suppression operations. Remote sections of the building need to be limited in order to ensure that hose streams, aerial fire apparatus, and fire fighters can access most portions of the building. Exhibit 18.4 illustrates an acceptable arrangement for compliance with 18.2.3.

18.2.3.2.2.1 When buildings are protected throughout with an approved automatic sprinkler system that is installed in accordance with NFPA 13, NFPA 13D, or NFPA 13R, the distance in 18.2.3.2.2 shall be permitted to be increased to 450 ft (137 m).

Paragraph 18.2.3.2.2.1 recognizes the significant benefits of automatic sprinkler protection in reducing the severity of fire incidents. Due to the presence of a fire sprinkler system, the access distance required by 18.2.3.2.2 is permitted to be increased to 450 ft (137 m).

18.2.3.3 Multiple Access Roads. More than one fire department access road shall be provided when it is determined by the AHJ that access by a single road could be impaired by vehicle congestion, condition of terrain, climatic conditions, or other factors that could limit access.

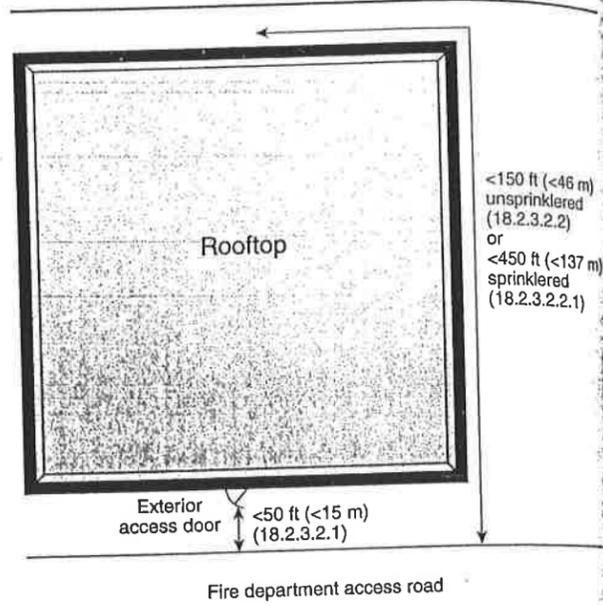


EXHIBIT 18.4 Acceptable fire department access configuration.

The following examples might warrant multiple fire department access roads:

1. Railroad tracks that cross a single fire department access road
2. Potential for mud slides along a single fire department access road
3. Single fire department access road that is below the 100-year flood elevation
4. Commercial or residential projects that generate large traffic counts on fire apparatus access roads

A traffic engineer should review the traffic counts and access design in large-scale development projects to ensure an appropriate access design for emergency vehicles.

18.2.3.4 Specifications.

The Code provides broad minimum design requirements for fire department access roads. For more specific design information, see *A Policy on Geometric Design of Highways and Streets* published by the American Association of State Highway and Transportation Officials (AASHTO), available at www.transportation.org, or consult applicable state and local roadway design standards.

18.2.3.4.1 Dimensions.

18.2.3.4.1.1 Fire department access roads shall have an unobstructed width of not less than 20 ft (6.1 m).

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NFPA 1

The minimum 20 ft (6.1 m) width required by 18.2.3.4.1.1 allows for two-way vehicular traffic and for one fire apparatus to pass while another is working at a fire hydrant or conducting aerial operations.

18.2.3.4.1.2 Fire department access roads shall have an unobstructed vertical clearance of not less than 13 ft 6 in. (4.1 m).

The minimum 13 ft 6 in. (4.1 m) vertical clearance ensures that fire apparatus can safely pass under power lines, bridges, and other obstructions. A *Policy on Geometric Design of Highways and Streets* published by AASHTO, recommends a minimum 14 ft (4 m) clearance for local and collector roads. A 16 ft (5 m) clearance is recommended for rural and urban arterials. The 14 ft or 16 ft (4 m or 5 ft) recommendations allow for snow accumulation and future changes in roadway depth if additional roadway material is added.

18.2.3.4.1.2.1 Vertical clearance shall be permitted to be reduced, provided such reduction does not impair access by fire apparatus, and approved signs are installed and maintained indicating the established vertical clearance when approved.

One example of acceptable reduced vertical clearance would be the entrance to a parking garage. Where low clearances are permitted, the *Code* mandates that approved warning signs be provided to notify emergency responders of the restricted access condition.

18.2.3.4.1.2.2 Vertical clearances or widths shall be increased when vertical clearances or widths are not adequate to accommodate fire apparatus.

One example of a need for an increased vertical clearance might be to accommodate an aircraft rescue fire-fighting (ARFF) vehicle. Many of these vehicles exceed standard apparatus dimensions and require greater vertical clearances.

18.2.3.4.2 Surface. Fire department access roads shall be designed and maintained to support the imposed loads of fire apparatus and shall be provided with an all-weather driving surface.

Fire department access roads need to be able to withstand the loads of fire apparatus, but they are not required to be constructed of any specific material. The roadway design needs to accommodate water runoff, ice, and snow accumulations. Consideration should be given to the design of subsurface structures and their placement relative to the location of fire department access road. Examples of such subsurface

structures include drainage pipes and septic tanks. If improperly designed, these subsurface structures have the potential to collapse under standard fire apparatus loads or the load imposed by an aerial fire apparatus stabilizer. The proposed design should be in accordance with a local, state, or nationally recognized standard for roadway design.

18.2.3.4.3 Turning Radius.

18.2.3.4.3.1 The turning radius of a fire department access road shall be as approved by the AHJ.

Previous editions of this *Code* required a 50 ft (15 m) centerline turning radius for fire lanes. In the 2003 edition, the specific 50 ft (15 m) requirement was deleted. Fire apparatus designs vary so widely that the 50 ft (15 m) requirement was found to be onerous for those jurisdictions with smaller apparatus and insufficient for those jurisdictions with larger apparatus. Local authorities should review their current and future apparatus needs and specifications to determine the appropriate design standard in their jurisdiction. In lieu of a specific local design requirement, the dimensions in Exhibit 18.5 should be used as a turning radius guide for most fire apparatus.

18.2.3.4.3.2 Turns in fire department access roads shall maintain the minimum road width.

18.2.3.4.4 Dead Ends. Dead-end fire department access roads in excess of 150 ft (46 m) in length shall be provided with approved provisions for the fire apparatus to turn around.

Where a fire department access road exceeds 150 ft (46 m) in length and is also a dead end, an approved turnaround is required. Appropriate turning radii must be provided for the turnaround, as indicated in 18.2.3.4.3. Acceptable turnarounds can include a cul-de-sac, as shown in Exhibit 18.5, or a T-turn or Y-turn, as shown in Exhibit 18.6.

18.2.3.4.5 Bridges.

18.2.3.4.5.1 When a bridge is required to be used as part of a fire department access road, it shall be constructed and maintained in accordance with nationally recognized standards.

The most widely used nationally recognized standard is the *Standard Specifications for Highway Bridges*, which is published by the American Association of State Highway and Transportation Officials (AASHTO).

18.2.3.4.5.2 The bridge shall be designed for a live load sufficient to carry the imposed loads of fire apparatus.

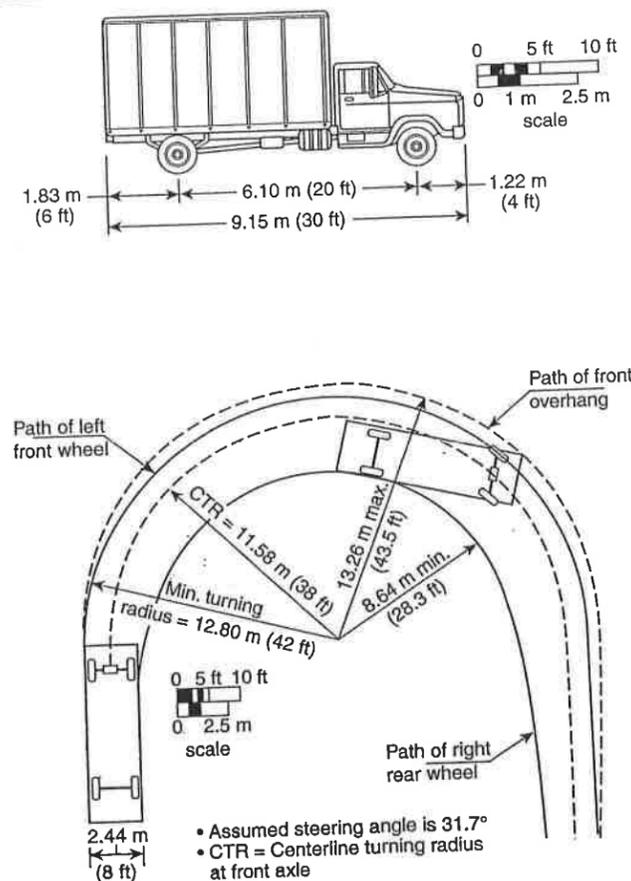


EXHIBIT 18.5 Minimum turning path for single unit truck design vehicle. (Courtesy of American Association of State Highway and Transportation Officials, Washington, DC; Used by Permission.)

Bridges must be designed to support the live load of the heaviest piece of fire apparatus that is likely to be driven on them. All bridges should be designed for an HS-20 highway vehicle load rating in accordance with the *Standard Specifications for Highway Bridges*.

18.2.3.4.5.3 Vehicle load limits shall be posted at both entrances to bridges where required by the AHJ.

Signage that indicates vehicle load limits should be designed so that it is readily obvious to fire apparatus drivers approaching the bridge. See Exhibit 18.7 for an example of a bridge load limit sign.

18.2.3.4.6 Grade.

The access road gradient should allow fire apparatus use of the fire department access road during all conditions, such as

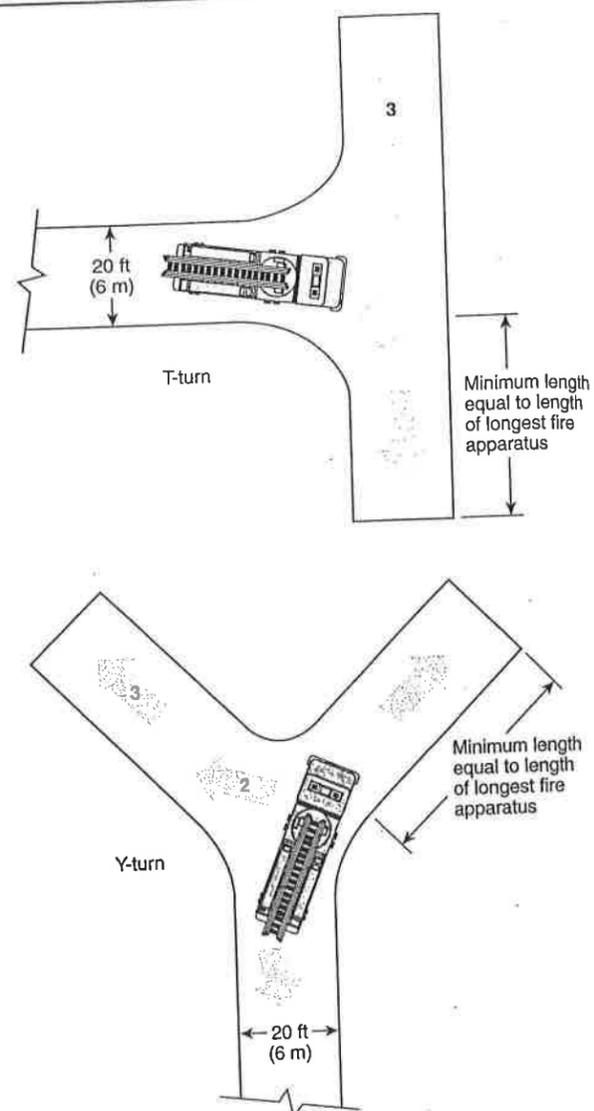


EXHIBIT 18.6 T-turn and Y-turn turnaround arrangements.

snow, ice, and rain. The grade should not be too steep to prevent a speedy response. Fire apparatus designs vary so widely that a specific requirement could be found to be burdensome for some jurisdictions and insufficient for others. Local authorities should review their current and future apparatus needs and specifications to determine a specific design standard in their jurisdiction.

18.2.3.4.6.1 The gradient for a fire department access road shall not exceed the maximum approved.

18.2.3.4.6.2* The angle of approach and departure for any means of fire department access road shall not exceed 1 ft drop in 20 ft (0.3 m drop in 6 m) or the design limitations of



Planning Board

100 PECK STREET
SEEKONK, MASSACHUSETTS 02771
1-508-336-2961

MEMORANDUM

Date: March 9, 2016

To: Robert Bernardo, Superintendent, Seekonk Water District

From: John J. Aubin III, Town Planner 

Re: Curt Street Extension definitive subdivision application

During the Planning Board review of the above referenced application a question arose regarding proposed water service for the four lot subdivision. The Planning Board continued their public hearing on the application to April 12, 2016. Please forward any comments or concerns you may have with the proposed development in advance of that date.

Thank you.

Mr. John Aubin III, JD
Town Planner
Town of Seekonk

John,

I have reviewed the proposed Curt Street water main extension and have the following comments:

- 1) The proposed water main extension will require approval from the Board of Water Commissioners. Upcoming Board meetings are scheduled for 4/12 and 4/26.
- 2) All new water mains will be installed in the sidewalk area and must have at least one foot of clearance between any structure, pipe or utility.
- 3) On page 5, in reference to the New Hydrant Connection detail, the Seekonk Water District requires a thrust block behind the hydrant shoe.

Please contact me with any questions or concerns.

Sincerely,

Robert Bernardo
Superintendent
Seekonk Water District



Planning Board

100 PECK STREET
SEEKONK, MASSACHUSETTS 02771
1-508-336-2961

MEMORANDUM

Date: March 9, 2016

To: J.R. Chenevert, Health Agent

From: John J. Aubin III, Town Planner 

Re: Curt Street Extension definitive subdivision application

During their review of the above referenced application a question arose regarding the validity of the percolation tests conducted for the site given the age of the tests and the site disturbance which has occurred subsequent to the test. The Planning Board has directed this office to inquire as to whether percolation tests expire and whether site disturbance (here primarily clearing) and development in the area would invalidate a previously conducted percolation test by altering the groundwater elevation. As an aside I would inquire whether the ground water elevation is reassessed and confirmed during the final review of septic design by the board of Health and confirmed during installation.

Thank you.

INTEROFFICE MEMORANDUM

TO: John Aubin
Planning Board

FROM: Harold E. Chenevert JR 
Assistant Health Agent - Board of Health

DATE: March 17, 2016

SUBJECT: Curt St Extension definitive subdivision application

As per your requests regarding the validity of the percolation testing on Curt Street Extension, per 310 CMR 15.000 percolation tests do not expire. The rules and regulations of percolation testing has not changed since these tests were completed. All of these tests are in compliance with Title 5 and the Board of Health will ensure that the individual septic system will be in compliance with 310 CMR 15.000.

If you have any questions please contact the Board of Health Office.

Cc: Board of Health
File



Planning Board

100 PECK STREET
SEEKONK, MASSACHUSETTS 02771
1-508-336-2961

MEMORANDUM

Date: March 9, 2016

To: Chief Michael Healy

From: John J. Aubin III, Town Planner 

Re: Curt Street Extension definitive subdivision application

During the peer and Planning Board review of the above referenced application a question arose regarding proposed fire suppression/ support for the proposed development. The Planning Board has directed this office to inquire as to the adequacy of the proposed hydrant locations and any need for fire call boxes. I have a copy of the NFPA standard regarding turn around design for the proposed emergency vehicle turnaround on the shared driveway which I intend to recommend be referenced in any approval which may issue on the project.

Thank you.

Mr. John Aubin III, JD
Town Planner
Town of Seekonk

John,

I have reviewed the proposed Curt Street water main extension and have the following comments:

- 1) The proposed water main extension will require approval from the Board of Water Commissioners. Upcoming Board meetings are scheduled for 4/12 and 4/26.
- 2) All new water mains will be installed in the sidewalk area and must have at least one foot of clearance between any structure, pipe or utility.
- 3) On page 5, in reference to the New Hydrant Connection detail, the Seekonk Water District requires a thrust block behind the hydrant shoe.

Please contact me with any questions or concerns.

Sincerely,

Robert Bernardo
Superintendent
Seekonk Water District

DEFINITIVE SUBDIVISION PLAN CURT ST EXTENSION

SEEKONK, MASSACHUSETTS

APPLICANT AND OWNER:
JOSEPH VIEIRA, TRUSTEE



STORM WATER CONTROL FACILITIES MANAGEMENT NOTES:
 1. LEVEL SPREADER SHALL BE INSPECTED EVERY RAINFALL UNTIL VEGETATION IS ESTABLISHED DOWNSTREAM, AND REPAIRS MADE AS NECESSARY SHALL BE MADE PROMPTLY. AFTER AREA IS STABILIZED, INSPECTIONS SHALL BE MADE QUARTERLY. CONTRACTOR SHALL GUARANTEE REPAIRS AND RESEEDING FOR ONE YEAR AFTER SUBDIVISION ACCEPTANCE.
 2. SEDIMENT AND DEBRIS SHALL BE REMOVED MANUALLY, AT LEAST ONCE PER YEAR.
 3. NO SNOW REMOVAL OR SNOW DUMPING SHALL BE ALLOWED OVER LEVEL-SPREADER AREA.
 4. LEVEL SPREADER SHALL BE MAINTAINED IN A MANNER TO ACHIEVE SHEET FLOW.

LEVEL SPREADER MAINTENANCE NOTES:
 1. DETENTION AREA SHALL BE INSPECTED AT LEAST ONCE PER YEAR TO ENSURE PROPER OPERATION. AT LEAST TWICE DURING THE GROWING SEASON THE SIDE SLOPES AND EMBANKMENT SHALL BE MOWED, AND ACCUMULATED TRASH AND DEBRIS REMOVED.
 2. SEDIMENT SHALL BE REMOVED FROM THE BASIN AS NECESSARY, AND AT LEAST ONCE EVERY 5 YEARS.
 3. SEDIMENT REMOVED FROM THE POND AND FOREBAY DURING CONSTRUCTION CAN BE INCORPORATED INTO ON-SITE FILL AREAS. AFTER CONSTRUCTION THIS SEDIMENT SHALL BE MANAGED IN ACCORDANCE TO MA DEP REQUIREMENTS FOR STREET SAND.

DETENTION AREA MAINTENANCE NOTES:
 1. FOREBAY SHALL BE CLEANED FOUR TIMES PER YEAR AND INSPECTED MONTHLY.
 2. ALL SEDIMENT AND HYDROCARBONS SHALL BE HANDLED AND DISPOSED IN ACCORDANCE WITH APPROPRIATE LOCAL, STATE AND FEDERAL GUIDELINES AND REGULATIONS.

CATCH BASIN MAINTENANCE NOTES:
 1. INLETS SHALL BE CLEANED AT LEAST FOUR TIMES PER YEAR AND INSPECTED MONTHLY.
 2. Sumps shall be inspected and cleaned semi-annually. All sediment and hydrocarbons shall be handled and disposed in accordance with appropriate local, state and federal guidelines and regulations.

SWALE MAINTENANCE NOTES:
 1. SWALES SHALL BE INSPECTED AT LEAST SEMI-ANNUALLY, AND MAINTENANCE AND REPAIRS MADE AS NECESSARY. ADDITIONAL INSPECTIONS SHALL BE SCHEDULED DURING THE FIRST FEW MONTHS TO MAKE SURE THAT THE VEGETATION BECOMES ADEQUATELY ESTABLISHED. REPAIRS AND RESEEDING SHOULD BE DONE AS REQUIRED.
 2. SWALES SHALL BE MOWED AT LEAST ONCE PER YEAR. GRASS CLIPPINGS SHOULD BE REMOVED. THE GRASS MUST NOT BE CUT TOO OFTEN OR SHORTER THAN FOUR INCHES, IN ORDER TO MAINTAIN EFFECTIVENESS OF THE SWALE.
 3. SEDIMENT AND DEBRIS SHALL BE REMOVED MANUALLY, AT LEAST ONCE PER YEAR, BEFORE THE VEGETATION IS ADVERSELY IMPACTED.
 4. CARE SHALL BE TAKEN TO PROTECT SWALES FROM SNOW REMOVAL AND OFF STREET PARKING.

INFILTRATION AREA MAINTENANCE NOTES:
 ONCE THE BASIN IS IN USE, INSPECT IT AFTER EVERY MAJOR STORM FOR THE FIRST FEW MONTHS TO ENSURE IT IS STABILIZED AND FUNCTIONING PROPERLY, AND IF NECESSARY TAKE CORRECTIVE ACTION. INSPECT THE INFILTRATION BASIN AT LEAST TWICE PER YEAR. IMPORTANT ITEMS TO CHECK DURING THE INSPECTION INCLUDE:
 - SIGNS OF DIFFERENTIAL SETTLEMENT,
 - CRACKING,
 - EROSION,
 - LEAKAGE IN THE EMBANKMENTS
 - TREE GROWTH ON THE EMBANKMENTS
 - CONDITION OF RIPRAP,
 - SEDIMENT ACCUMULATION AND
 - THE HEALTH OF THE TURF.
 AT LEAST TWICE A YEAR, MOW THE BUFFER AREA, SIDE SLOPES, AND BASIN BOTTOM. REMOVE GRASS CLIPPINGS AND ACCUMULATED ORGANIC MATTER TO PREVENT AN IMPERVIOUS ORGANIC MAT FROM FORMING. REMOVE TRASH AND DEBRIS AT THE SAME TIME. USE DEEP TILLING TO BREAK UP CLOGGED SURFACES, AND RE-VEGETATE IMMEDIATELY. REMOVE SEDIMENT FROM THE BASIN AS NECESSARY, BUT WAIT UNTIL THE FLOOR OF THE BASIN IS THOROUGHLY DRY. USE LIGHT EQUIPMENT TO REMOVE THE TOP LAYER SO AS TO NOT COMPACT THE UNDERLYING SOIL. DEEPLY TILL THE REMAINING SOIL, AND RE-VEGETATE AS SOON AS POSSIBLE. INSPECT AND CLEAN PRETREATMENT DEVICES ASSOCIATED WITH BASINS AT LEAST TWICE A YEAR, AND IDEALLY EVERY OTHER MONTH.

- LEGEND**
- OFF SITE PROPERTY LINE
 - DRIVEWAY & UTILITY EASEMENT LINE
 - DRAINAGE EASEMENT LINE
 - BORDERING VEGETATED WETLAND LINE AS APPROVED BY SEEKONK CON. COM.
 - 100' WETLAND SETBACK
 - 50' WETLAND SETBACK
 - 25' WETLAND SETBACK
 - MEAN ANNUAL HIGH WATER LINE AS APPROVED BY SEEKONK CON. COM.
 - LIMIT OF 100 FOOT RIVERFRONT AREA
 - LIMIT OF 200 FOOT RIVERFRONT AREA
 - ◆ RIVER FRONT FLAG
 - WETLAND FLAG
 - GAS
 - OVERHEAD WIRES
 - DRAINAGE
 - WATER
 - LIMIT OF CLEARING
 - EROSION CONTROL
 - EXISTING CATCH BASIN
 - ⊙ DRAINAGE MANHOLE
 - PROPOSED CATCH BASIN
 - UTILITY POLE
 - ▽ FLARED END
 - PROP. BOUND
 - BOUND FOUND
 - ⊙ HYDRANT
 - ⊕ WATER GATE
 - WATER BLOW-OFF

ABBREVIATIONS

1/8, 1/4, 3/8, 1/2, 3/4, 1	BENDS
CV, WV	GATE VALVE, WATER VALVE
T	TEE
YT	45° TEE
DI	DUCTILE IRON, DROP INLET
EX	EXISTING
TYP.	TYPICAL
HDPE	HIGH DENSITY POLYETHYLENE PIPE
RCP	REINFORCED CONCRETE PIPE
BIT. CON.	BITUMINOUS CONCRETE
WSO	WATER SERVICE SHUT-OFF
FE	FLARED END
DMH	DRAINAGE MANHOLE
CB	CATCH BASIN
DI	DROP INLET
GI	GUTTER INLET
CI	CURB INLET
INV	INVERT
CN	SURFACE CURVE NUMBER (HYDROLOGICAL COEFFICIENT)

INDEX	SHEETS
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SOIL PROFILES	5
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TYPICAL DETAILS	7
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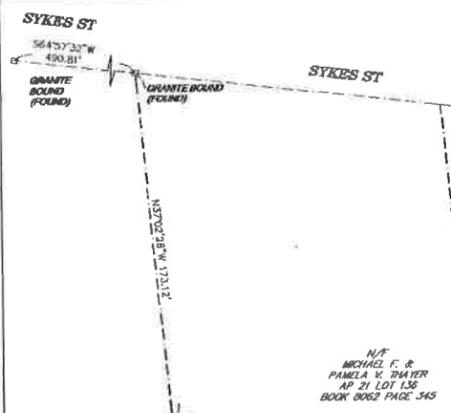
RECEIVED MAR 29 2016

REQUESTED WAIVERS FROM RULES AND REGULATIONS GOVERNING THE SUBDIVISION OF LAND:

- 8.222 OTHER UTILITIES PARAGRAPH 2.**
WAIVER REQUESTED TO PLACE ELECTRICAL AND TELEPHONE CONDUITS ABOVE GROUND
- 7.2.3.1 GRADE.**
WAIVER REQUESTED FOR ROADWAY SLOPE FROM 1% TO 0.7%
- 7.3 SIDEWALKS.**
WAIVER REQUESTED NOT TO CONSTRUCT SIDEWALKS

REQUESTED WAIVERS FROM ZONING BY-LAWS:

- SECTION 5.1.4. FOOTNOTE 5.**
WAIVER REQUESTED NOT TO DEPICT A 100-FOOT SQUARE



- LEGEND**
- BORDERING VEGETATED WETLAND LINE AS APPROVED BY SEEKONK CON. COM.
 - MEAN ANNUAL HIGH WATER LINE AS APPROVED BY SEEKONK CON. COM.
 - LIMIT OF 200 FOOT RIVERFRONT AREA
 - OFF SITE PROPERTY LINE
 - DRIVEWAY & UTILITY EASEMENT LINE
 - DRAINAGE EASEMENT LINE
 - RIVERFRONT FLAG
 - WETLAND FLAG
 - PROPOSED BOUND - 6" x 6" x 5' GRANITE BOUND WITH DRILL HOLE
 - BOUND FOUND

I CERTIFY THAT THIS SURVEY AND PLAN CONFORMS TO THE ETHICAL, PROCEDURAL, AND TECHNICAL STANDARDS FOR THE PRACTICE OF LAND SURVEYING IN THE COMMONWEALTH OF MASSACHUSETTS

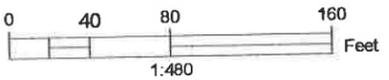
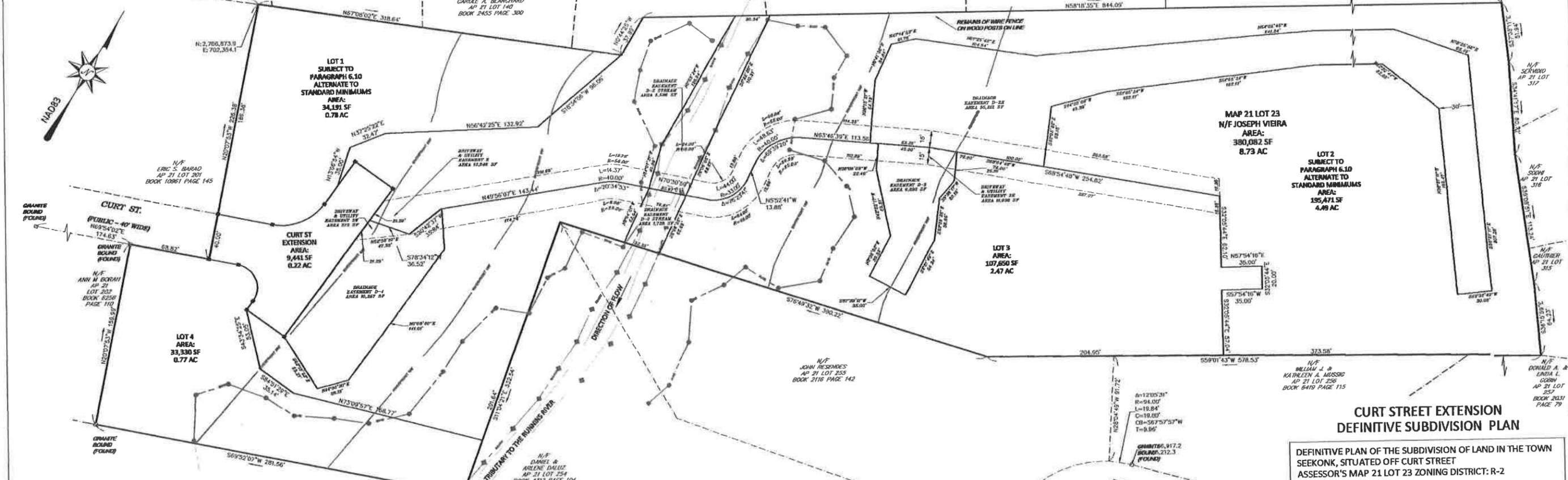
I CERTIFY THAT THIS PLAN HAS BEEN PREPARED IN CONFORMANCE WITH THE RULES AND REGULATIONS OF THE REGISTERS OF DEEDS OF THE COMMONWEALTH OF MASSACHUSETTS

REGISTERED PROFESSIONAL SURVEYOR _____ DATE _____

Preparer _____ Date _____

- REQUESTED WAIVERS FROM RULES AND REGULATIONS GOVERNING THE SUBDIVISION OF LAND:**
- 8.222 OTHER UTILITIES PARAGRAPH 2. WAIVER REQUESTED TO PLACE ELECTRICAL AND TELEPHONE CONDUITS ABOVE GROUND
 - 7.2.3.1 GRADE. WAIVER REQUESTED FOR ROADWAY SLOPE FROM 1% TO 0.7%
 - 7.3. SIDEWALKS. WAIVER REQUESTED NOT TO CONSTRUCT SIDEWALKS

- REQUESTED WAIVERS FROM ZONING BY-LAWS:**
- SECTION 5.1.4. FOOTNOTE 3. WAIVER REQUESTED NOT TO DEPICT A 100-FOOT SQUARE



CURT STREET EXTENSION DEFINITIVE SUBDIVISION PLAN

DEFINITIVE PLAN OF THE SUBDIVISION OF LAND IN THE TOWN SEEKONK, SITUATED OFF CURT STREET, ASSESSOR'S MAP 21 LOT 23 ZONING DISTRICT: R-2
 DATE OF PLAN: JANUARY 18, 2016 REVISED: 3/25/16
 OWNER/APPLICANT'S NAME AND ADDRESS:
 JOSEPH VIEIRA, TRUSTEE
 299 PROVIDENCE STREET, REHOBOTH, MA 02769 (508) 962-6749
 ENGINEER: GORODETSKY ENGINEERING, LLC
 422 NORTH MAIN STREET FALL RIVER MA (508)324-1163

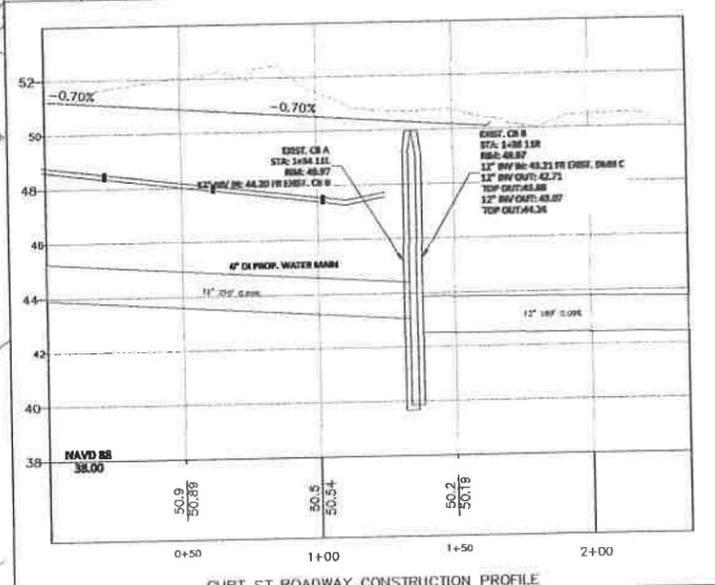
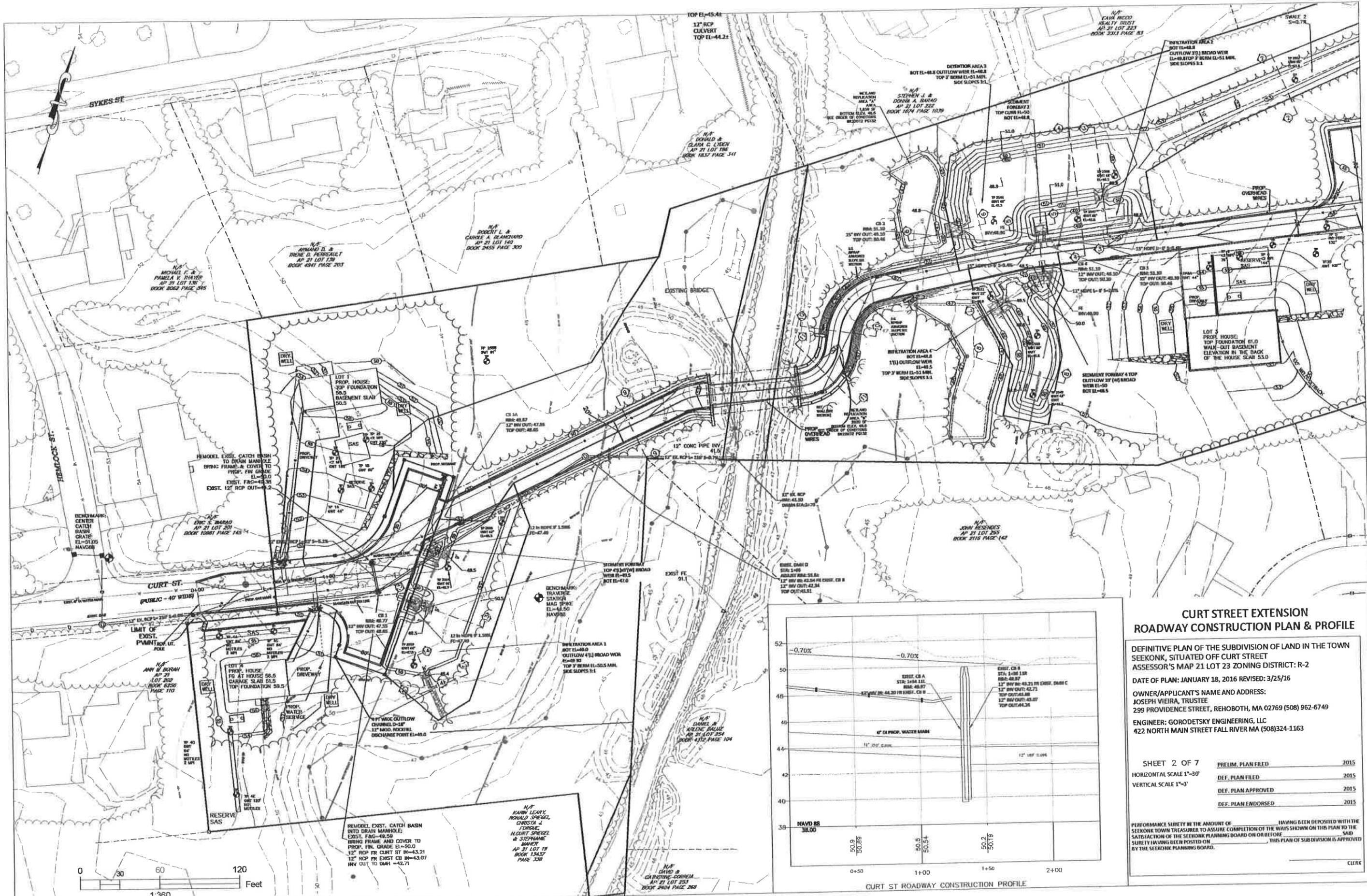
SHEET 1 OF 7	PRELIM. PLAN FILED	2015
SCALE 1"=40'	DEF. PLAN FILED	2015
	DEF. PLAN APPROVED	2015
	DEF. PLAN ENDORSED	2015

PERFORMANCE SURETY IN THE AMOUNT OF \$AVING BEEN DEPOSITED WITH THE SEEKONK TOWN TREASURER TO ASSURE COMPLETION OF THE WORKS SHOWN ON THIS PLAN TO THE SATISFACTION OF THE SEEKONK PLANNING BOARD ON OR BEFORE _____ 2015 SURETY HAVING BEEN POSTED ON _____ THIS PLAN OF SUBDIVISION IS APPROVED BY THE SEEKONK PLANNING BOARD.

CLERK

- NOTES & REFERENCES**
- REFERENCE IS MADE TO THE FOLLOWING MAPS & PLANS:
 - "GREENWOOD SUBDIVISION OF LAND IN SEEKONK, MASS. FOR ROBERT L. PHILLIPS SCALE: 1"=40' 28, 1979 2 SHEETS ALLEN D. QUINCY H227872, PETER ALVITI, JR. P.E. #29609."
 - "FARM ACRES NO. 2 SEEKONK, MASS. BELONGING TO GEORGE E. AND AUGUSTA SYKES OCT. 1957 1"=40' WATERMAN ENGINEERING COMPANY."
 - "PROPERTY IN SEEKONK, MASS. BELONGING TO GEO. SYKES & WIFE SCALE: 1"=40 FT. SURVEYED & DRAWN MAY 1949 BY R.Z. MACCOMBER, C.E. REVISED SEPT. 1951 GEO. J. GEISSER & ASSOC. ENGRS."
 - "FARM ACRES SEEKONK, MASS. BELONGING TO GEORGE E. AND AUGUSTA SYKES MAY, 1954 REVISED 30, 1955 SCALE: 1"=80' WATERMAN ENGINEERING COMPANY."
 - "PRELIMINARY PLAN OF SURVEY IN SEEKONK, MASS. FOR MARIE R. ROHLAND SCALE: 1"=50' DATE: MAY, 1979 STANLEY ENGINEERING, INC."
 - REFERENCE IS MADE TO THE FOLLOWING BRISTOL COUNTY REGISTRY OF DEEDS RECORDS REGARDING RECORD TITLE TO THE PREMISES SURVEYED:
 - BOOK 13437 PAGE 35 - LOT 23, KARIN LEARY, DONALD SPEIGAL, CHRISTA J. FORGUE, H. CURT SPIEGAL & STEPHANIE MAHER.
 - THESE PREMISES MAY BE SUBJECT TO THE FOLLOWING EASEMENTS, RIGHTS OF WAY OR AGREEMENTS OF RECORD:
 - BOOK 13437 PAGE 35 - "RIGHTS OF DRAINAGE FARM CURT ST."
 - THESE PREMISES ARE SITUATED IN ZONE X (AREA DETERMINED TO BE OUTSIDE 0.2% CHANCE OF ANNUAL FLOODING) AS SHOWN ON MAP 25005C0204F, EFFECTIVE ON 07/07/2009.
 - THE VERTICAL DATUM FOR THIS PROJECT IS NAVD83, THE HORIZONTAL DATUM IS NAD83, ESTABLISHED BY GPS OBSERVATIONS.
 - THESE PREMISES ARE SITUATED IN 'R-2' ZONING DISTRICT.
 - THE AERIAL TOPOGRAPHIC MAPPING WAS COMPILED BY EASTERN TOPOGRAPHICS, INC. FROM AERIAL PHOTOGRAPHS CAPTURED APRIL 20, 1995. GROUND CONTROL WAS CONDUCTED BY WATERMAN ENGINEERING COMPANY BY GPS SURVEYING METHODS. FIELD EDITS WERE PERFORMED BY WATERMAN ENGINEERING COMPANY.
 - WETLAND DELINEATION WAS PERFORMED BY SITE SOLUTIONS INC., SURVEYED BY GORODETSKY ENGINEERING, LLC, AND APPROVED BY SEEKONK CONSERVATION COMMISSION.





**CURT STREET EXTENSION
ROADWAY CONSTRUCTION PLAN & PROFILE**

DEFINITIVE PLAN OF THE SUBDIVISION OF LAND IN THE TOWN
SEEKONK, SITUATED OFF CURT STREET
ASSESSOR'S MAP 21 LOT 23 ZONING DISTRICT: R-2

DATE OF PLAN: JANUARY 18, 2016 REVISED: 3/25/16

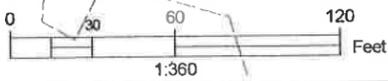
OWNER/APPLICANT'S NAME AND ADDRESS:
JOSEPH VIEIRA, TRUSTEE
299 PROVIDENCE STREET, REHOBOTH, MA 02769 (508) 962-6749

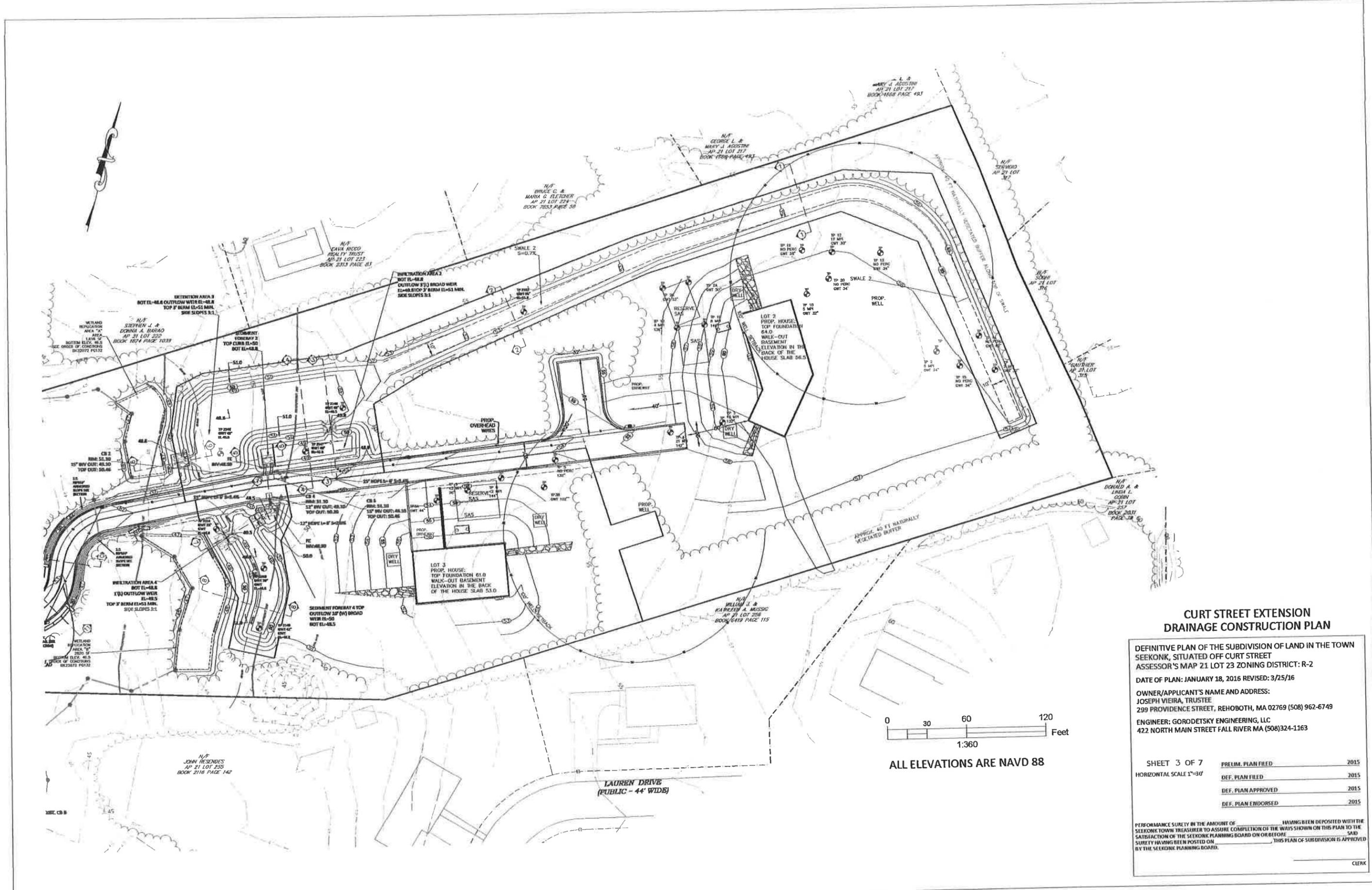
ENGINEER: GORODETSKY ENGINEERING, LLC
422 NORTH MAIN STREET FALL RIVER MA (508)324-1163

SHEET 2 OF 7	PRELIM. PLAN FILED	2015
HORIZONTAL SCALE 1"=30'	DEF. PLAN FILED	2015
VERTICAL SCALE 1"=3'	DEF. PLAN APPROVED	2015
	DEF. PLAN ENDORSED	2015

PERFORMANCE SURETY IN THE AMOUNT OF _____ HAVING BEEN DEPOSITED WITH THE
SEEKONK TOWN TREASURER TO ASSURE COMPLETION OF THE WORK SHOWN ON THIS PLAN TO THE
SATISFACTION OF THE SEEKONK PLANNING BOARD ON OR BEFORE _____ SAID
SURETY HAVING BEEN POSTED ON _____ THIS PLAN OF SUBDIVISION IS APPROVED
BY THE SEEKONK PLANNING BOARD.

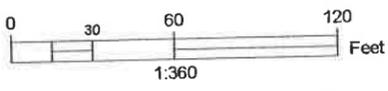
CLERK





**CURT STREET EXTENSION
DRAINAGE CONSTRUCTION PLAN**

DEFINITIVE PLAN OF THE SUBDIVISION OF LAND IN THE TOWN
SEEKONK, SITUATED OFF CURT STREET
ASSESSOR'S MAP 21 LOT 23 ZONING DISTRICT: R-2
DATE OF PLAN: JANUARY 18, 2016 REVISED: 3/25/16
OWNER/APPLICANT'S NAME AND ADDRESS:
JOSEPH VIEIRA, TRUSTEE
299 PROVIDENCE STREET, REHOBOTH, MA 02769 (508) 962-6749
ENGINEER: GORDETSKY ENGINEERING, LLC
422 NORTH MAIN STREET FALL RIVER MA (508)324-1163

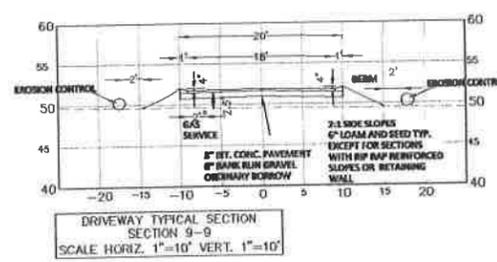
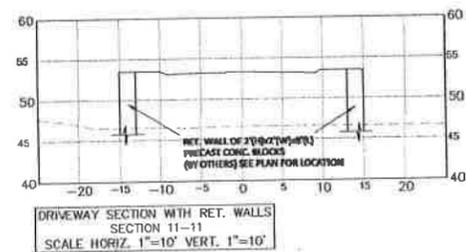
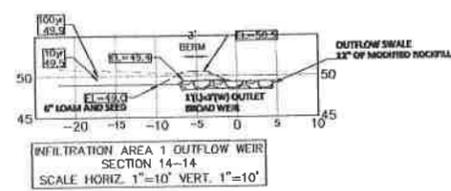
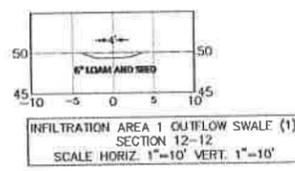
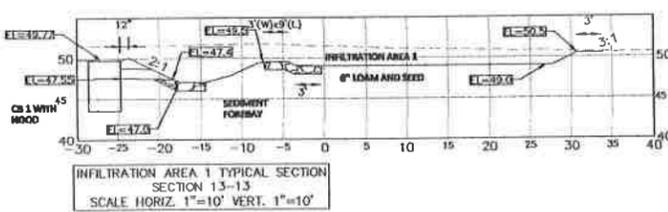
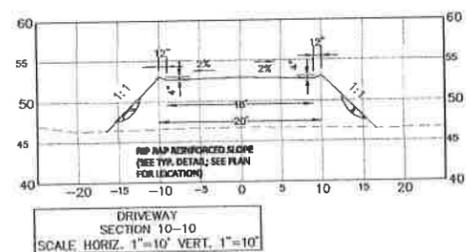
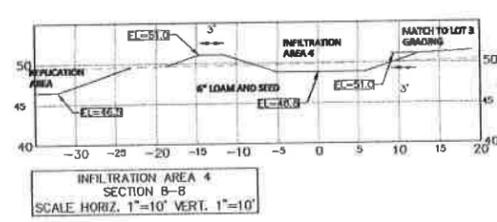
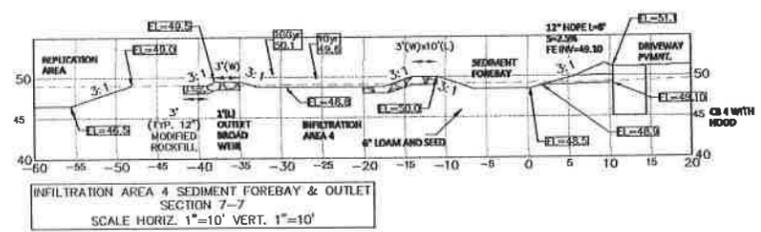
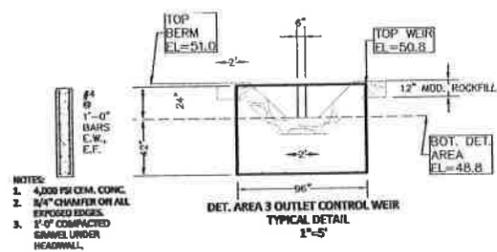
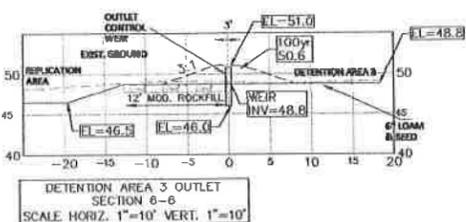
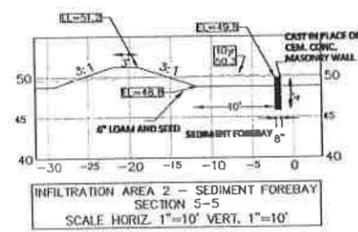
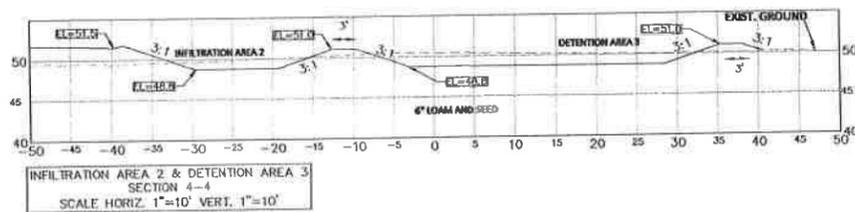
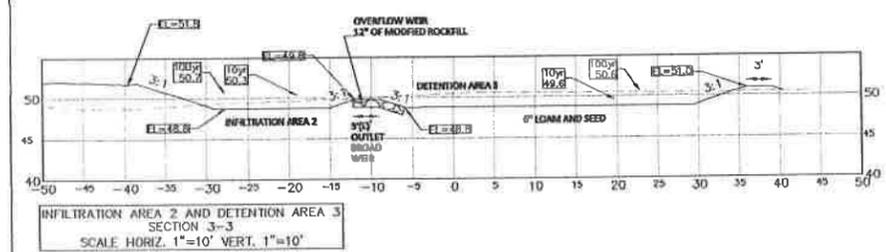
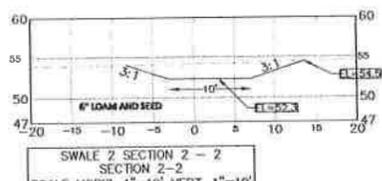
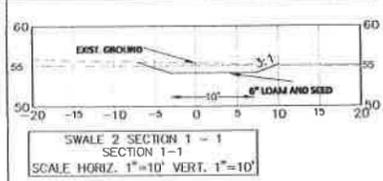


ALL ELEVATIONS ARE NAVD 88

SHEET 3 OF 7	PRELIM. PLAN FILED	2015
HORIZONTAL SCALE 1"=30'	DEF. PLAN FILED	2015
	DEF. PLAN APPROVED	2015
	DEF. PLAN ENDORSED	2015

PERFORMANCE SURETY IN THE AMOUNT OF _____ HAVING BEEN DEPOSITED WITH THE
SEEKONK TOWN TREASURER TO ASSURE COMPLETION OF THE WORK SHOWN ON THIS PLAN TO THE
SATISFACTION OF THE SEEKONK PLANNING BOARD ON OR BEFORE _____ THIS PLAN OF SUBDIVISION IS APPROVED
BY THE SEEKONK PLANNING BOARD.

CLERK



CURT STREET EXTENSION TYPICAL SECTIONS

DEFINITIVE PLAN OF THE SUBDIVISION OF LAND IN THE TOWN
SEEKONK, SITUATED OFF CURT STREET
ASSESSOR'S MAP 21 LOT 23 ZONING DISTRICT: R-2
DATE OF PLAN: JANUARY 18, 2016 REVISED: 3/25/16
OWNER/APPLICANT'S NAME AND ADDRESS:
JOSEPH VIEIRA, TRUSTEE
299 PROVIDENCE STREET, REHOBOTH, MA 02769 (508) 962-6749
ENGINEER: GORODETSKY ENGINEERING, LLC
422 NORTH MAIN STREET FALL RIVER MA (508)324-1163

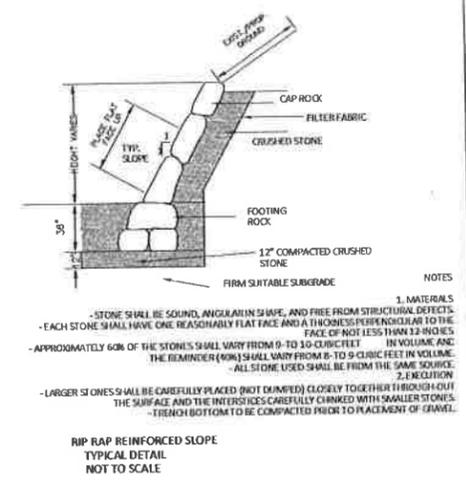
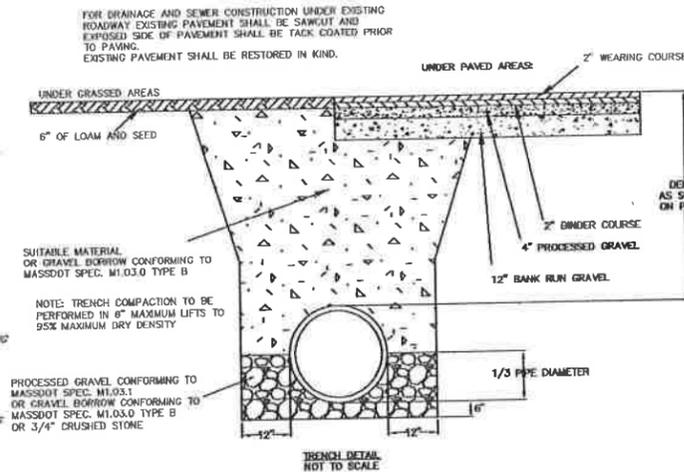
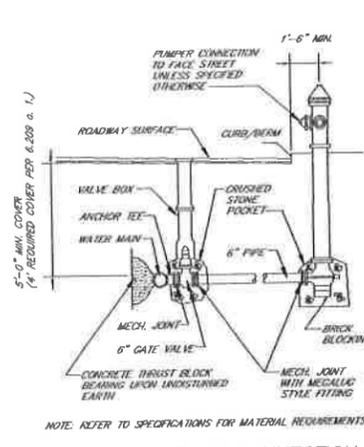
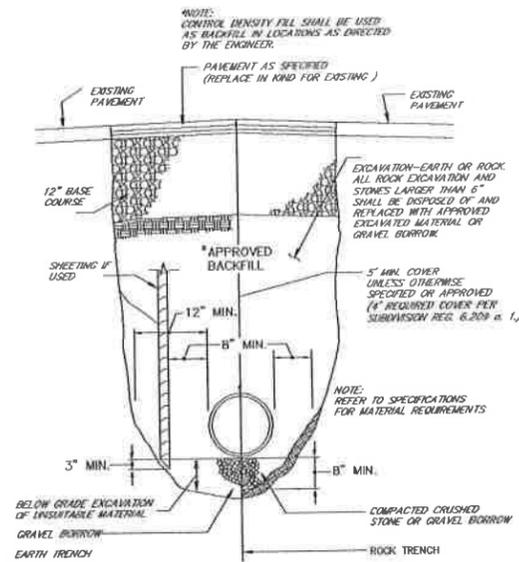
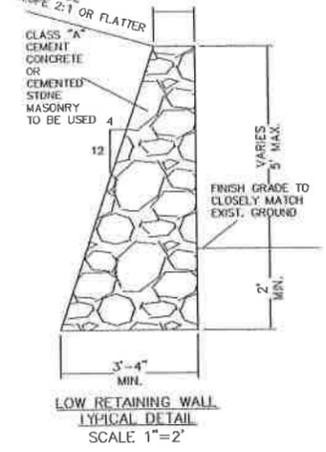
SHEET 5 OF 7

PRELIM. PLAN FILED	2015	
SCALE AS NOTED	DEF. PLAN FILED	2015
	DEF. PLAN APPROVED	2015
	DEF. PLAN ENDORSED	2015

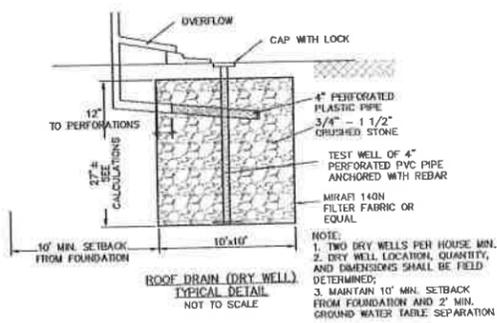
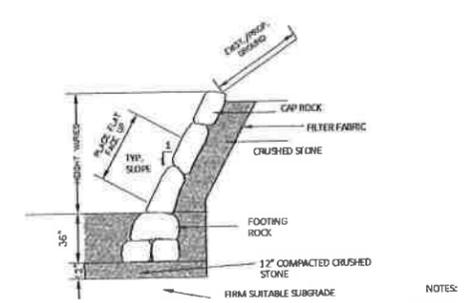
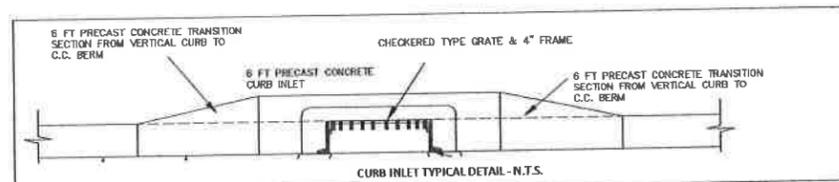
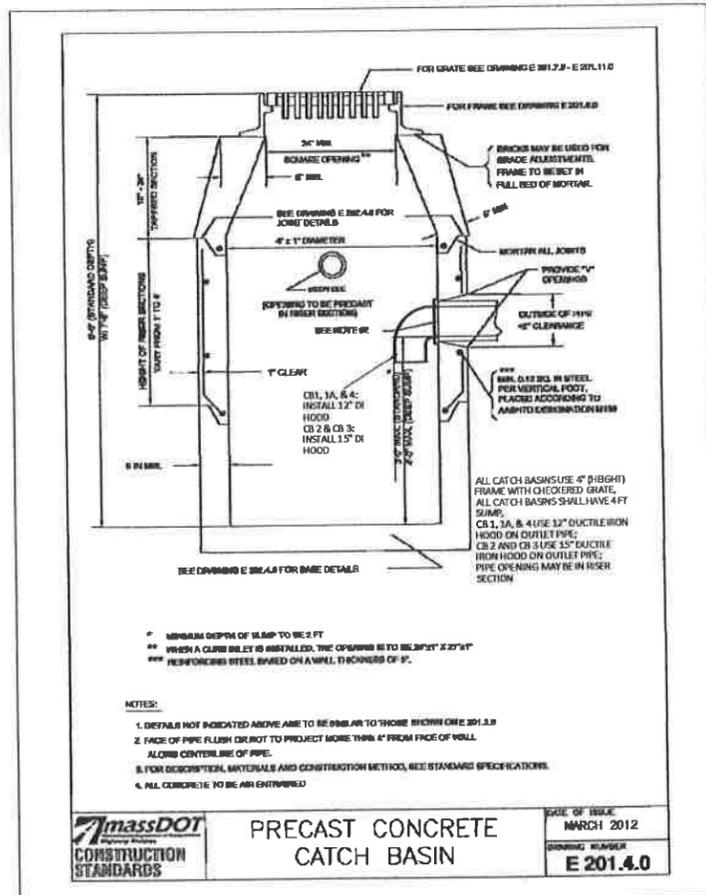
PERFORMANCE SURETY IN THE AMOUNT OF _____ HAVING BEEN DEPOSITED WITH THE
SEEKONK TOWN TREASURER TO ASSURE COMPLETION OF THE WORK SHOWN ON THIS PLAN TO THE
SATISFACTION OF THE SEEKONK PLANNING BOARD ON OR BEFORE _____ SAID
SURETY HAVING BEEN POSTED ON _____ THIS PLAN OF SUBDIVISION IS APPROVED
BY THE SEEKONK PLANNING BOARD.

CLERK

1. CLASS "A" CEMENT CONCRETE TO BE USED
2. EXPANSION JOINTS TO BE PLACED 90" O.C. MAXIMUM WITH INTERMEDIATE CONSTRUCTION JOINTS PLACED AT 30' O.C. MAXIMUM
3. CEMENTED STONE MASONRY MAY BE USED



AS REQUIRED



- NOTES:
1. DETAILS NOT INDICATED ABOVE ARE TO BE SIMILAR TO THOSE SHOWN ON SHEET 201.0
 2. FACE OF PIPE FLUSH OR NOT TO PROJECT MORE THAN 4" FROM FACE OF WALL ALONG CENTERLINE OF PIPE.
 3. FOR DESCRIPTIVE MATERIALS AND CONSTRUCTION METHODS, SEE STANDARD SPECIFICATIONS.
 4. ALL CONCRETE TO BE AIR ENTRAINED.

MassDOT
CONSTRUCTION STANDARDS

PRECAST CONCRETE CATCH BASIN

DATE OF ISSUE: MARCH 2012
DRAWING NUMBER: E 201.4.0

DEFINITIVE PLAN OF THE SUBDIVISION OF LAND IN THE TOWN SEEKONK, SITUATED OFF CURT STREET ASSESSOR'S MAP 21 LOT 23 ZONING DISTRICT: R-2

DATE OF PLAN: JANUARY 18, 2016 REVISED: 3/25/16

OWNER/APPLICANT'S NAME AND ADDRESS:
JOSEPH VIEIRA, TRUSTEE
299 PROVIDENCE STREET, REHOBOTH, MA 02769 (508) 962-6749

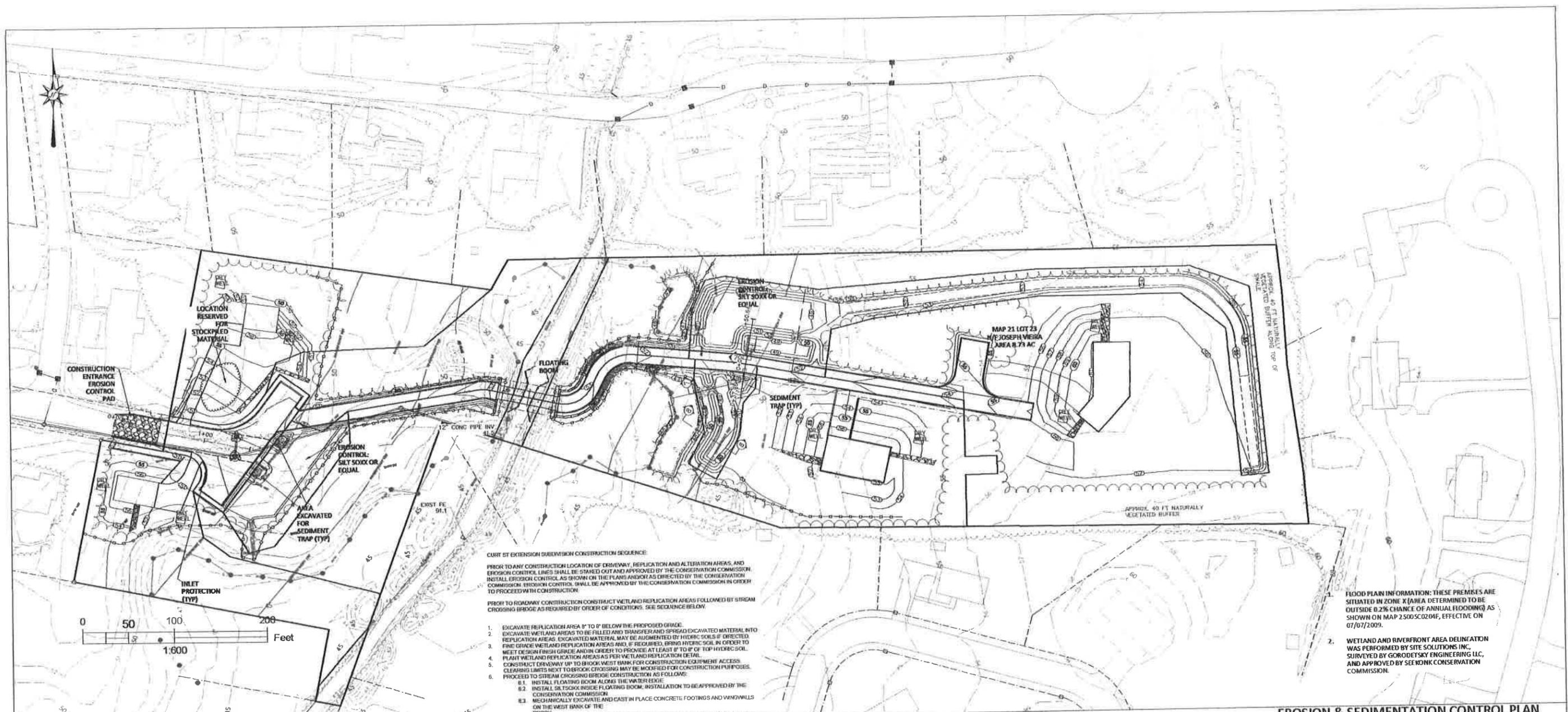
ENGINEER: GORODETSKY ENGINEERING, LLC
422 NORTH MAIN STREET FALL RIVER MA (508)324-1163

SHEET 6 OF 7

PRELIM. PLAN FILED	2015
DEF. PLAN FILED	2015
DEF. PLAN APPROVED	2015
DEF. PLAN ENDORSED	2015

PERFORMANCE SURETY IN THE AMOUNT OF \$100,000.00 HAVING BEEN DEPOSITED WITH THE SEEKONK TOWN TREASURER TO ASSURE COMPLETION OF THE WORK SHOWN ON THIS PLAN TO THE SATISFACTION OF THE SEEKONK PLANNING BOARD OR BEFORE SAID SURETY HAVING BEEN POSTED ON THIS PLAN OF SUBDIVISION IS APPROVED BY THE SEEKONK PLANNING BOARD.

CLERK



CURT ST EXTENSION SUBDIVISION CONSTRUCTION SEQUENCE:
 PRIOR TO ANY CONSTRUCTION LOCATION OF DRIVEWAY, REPLACEMENT AND ALTERATION AREAS, AND EROSION CONTROL LINES SHALL BE STAKED OUT AND APPROVED BY THE CONSERVATION COMMISSION. INSTALL EROSION CONTROL AS SHOWN ON THE PLANS AND/OR AS DIRECTED BY THE CONSERVATION COMMISSION. EROSION CONTROL SHALL BE APPROVED BY THE CONSERVATION COMMISSION IN ORDER TO PROCEED WITH CONSTRUCTION.

PRIOR TO ROADWAY CONSTRUCTION CONSTRUCT WETLAND REPLACEMENT AREAS FOLLOWED BY STREAM CROSSING BRIDGE AS REQUIRED BY ORDER OF CONDITIONS. SEE SEQUENCE BELOW.

1. EXCAVATE REPLACEMENT AREAS TO BE FILLED AND TRANSPORT AND SPREAD EXCAVATED MATERIAL INTO REPLACEMENT AREAS. EXCAVATED MATERIAL MAY BE AUGMENTED BY HYDRIC SOILS IF DIRECTED BY THE CONSERVATION COMMISSION.
2. MEET DESIGN FINISH GRADE AND/OR CRITERIA TO PROVIDE AT LEAST 8" TO 12" OF TOP HYDRIC SOIL.
3. CONSTRUCT DRIVEWAY UP TO BRIDGE WEST BANK FOR CONSTRUCTION EQUIPMENT ACCESS.
4. CLEARING LIMITS NEXT TO BRIDGE CROSSING MAY BE INCREASED FOR CONSTRUCTION PURPOSES.
5. PROCEED TO STREAM CROSSING BRIDGE CONSTRUCTION AS FOLLOWS:
 - a.1. INSTALL FLOATING BOOM ALONG THE WATER EDGE.
 - a.2. INSTALL DRYSOCK INSIDE FLOATING BOOM. INSTALLATION TO BE APPROVED BY THE CONSERVATION COMMISSION.
 - a.3. MECHANICALLY EXCAVATE AND CAST IN PLACE CONCRETE FOOTINGS AND WINGWALLS ON THE WEST BANK OF THE BRIDGE.
 - a.4. HAND EXCAVATE AND CAST IN PLACE CONCRETE FOOTINGS AND WINGWALLS ON THE EAST BANK OF THE BRIDGE.
 - a.5. INSTALL PRE-CAST CONCRETE BOX BEAMS AND DECK.

PROCEED TO ROADWAY AND STORM WATER MANAGEMENT SYSTEM CONSTRUCTION AS FOLLOWS:

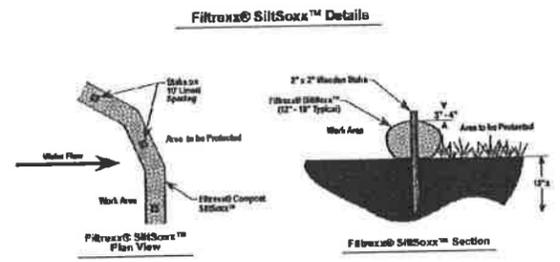
- CONSTRUCTION SCHEDULE:**
1. OBTAIN PLAN APPROVAL AND OTHER APPLICABLE PERMITS.
 2. FLAG WORK LIMITS.
 3. HOLD PRE-CONSTRUCTION CONFERENCE AT LEAST ONE WEEK PRIOR TO STARTING CONSTRUCTION.
 4. INSTALL EROSION CONTROL DEVICES - SILT SOCK OR EQUAL, ALONG THE LIMIT OF DISTURBANCE/CLEARING AS SHOWN ON THE PLAN.
 5. CONSTRUCT SEDIMENT TRAPS AS THE FIRST CONSTRUCTION ACTIVITY.
 6. INSTALL THE TEMPORARY GRASS CONSTRUCTION EROSION CONTROL.
 7. CONSTRUCT THE LEVEL SPREADERS AND VEGETATE DISTURBED AREAS.
 8. CLEAR AND GRUB HAMMERHEAD AREA AND AREAS FOR STORM WATER MANAGEMENT FACILITIES.
 9. COMPLETE SITE CLEARING.
 10. EXCAVATE HAMMERHEAD AREA, SWALE 1, AND SWALE 4 TO FINISH GRADE.
 11. FINISH GRADE SITE, STOCKPILE TOPSOIL, FINISH GRADE TWO DRAINS AND DETENTION AREAS. CRIMP STRAWMATS INTO DISTURBED AREAS AT THE RATE OF 2.5 TONS PER ACRE. FINISH THE SLOPES ALONG THE ROADWAY AS SOON AS ROUGH GRADING IS COMPLETE. LEAVE THE SURFACE SLIGHTLY ROUGHENED AND VEGETATE AND MULCH AS SOON AS POSSIBLE.
 12. FINISH ROUGH GRADING SHARED DRIVEWAY AND INSTALL CATCH BASIN 3.
 13. FINISH TO GRADE AND CONSTRUCT TWO SWALE "A" AND DETENTION AREA "A", INCLUDING SWALE ON LOT 2 DISCHARGING INTO DETENTION AREA "A".
 14. COMPLETE THE FINAL GRADING FOR THE TOTAL SHARED DRIVEWAY, AND APRONS INTO THE LOTS AND STABILIZE WITH GRASS.
 15. COMPLETE THE FINAL GRADING OF GROUNDS, TOPSOIL CRITICAL AREAS, AND PERMANENTLY VEGETATE, LANDSCAPE, AND MULCH.
 16. INSTALL PAVEMENT BINDER COURSE. AFTER THE SITE IS STABILIZED REMOVE ALL TEMPORARY MEASURES AND INSTALL PERMANENT VEGETATION ON THE DISTURBED AREAS ESTIMATED TIME BEFORE FINAL STABILIZATION IS 12 MONTHS.
 17. INSTALL DRAINAGE, WATER, GAS.
 18. LOAM AND SEED STORM WATER MANAGEMENT FACILITIES.
 19. DRAINAGE OUTLETS SHALL BE FUNCTIONING WITH EROSION CONTROL INSTALLED UPON COMPLETION.
 20. PROCEED WITH CONSTRUCTION OF THE DWELLING ON LOT 2.

EROSION CONTROLS SHALL BE MAINTAINED DURING CONSTRUCTION TO ENSURE INTENDED PURPOSE. AFTER EACH RAIN STORM CONTROLS SHALL BE VERIFIED, AND REPAIRS, IF NECESSARY.

SEDIMENT FOREBAYS MAY BE USED AS A SEDIMENT TRAP DURING CONSTRUCTION. UPON COMPLETION OF CONSTRUCTION SEDIMENT FOREBAYS SHALL BE CLEANED OF SEDIMENT, FINE GRINED AND LOADED AND SEEDS AS PER PLAN.

OPERATION AND MAINTENANCE PLAN FOR EROSION CONTROL MEASURES:

1. ALL EROSION AND SEDIMENT CONTROL PRACTICES WILL BE CHECKED FOR STABILITY AND OPERATION FOLLOWING EVERY RAINFALL EXCEPTING RAINFALL BUT IN NO CASE LESS THAN ONCE EVERY WEEK. ANY NEEDED REPAIRS WILL BE MADE IMMEDIATELY TO MAINTAIN ALL PRACTICES AS DESIGNED.
2. THE SEDIMENT TRAPS WILL BE CLEANED OUT WHEN THE LEVEL OF SEDIMENT REACHES 12 INCHES BELOW THE FINISH GRADE. UPON COMPLETION OF CONSTRUCTION ALL SEDIMENT SHALL BE REMOVED FROM TRAPS AND SEDIMENT TRAP ELEVATION SHALL BE BROUGHT TO DESIGN GRADE.
3. SEDIMENT WILL BE REMOVED FROM THE INLET PROTECTION DEVICES WHEN STORAGE CAPACITY HAS BEEN APPROXIMATELY 50 PERCENT FILLED.
4. SEDIMENT WILL BE REMOVED FROM BEHIND THE SEDIMENT FENCE WHEN IT BECOMES ABOUT 1/2 FOOT DEEP AT THE FENCE. THE SEDIMENT FENCE WILL BE REPAIRED AS NECESSARY TO MAINTAIN A BARRIER.
5. ALL SEEDING AREAS WILL BE FERTILIZED, RESEED AS NECESSARY, AND MULCHED ACCORDING TO SPECIFICATIONS IN THE EROSION CONTROL PLANS AND/OR LANDSCAPING PLANS TO MAINTAIN A WOODS, HERSE, VEGETATIVE COVER.



- Notes:**
1. All materials to meet Filtrax specifications.
 2. SiltSocks are designed to be used in applications where they are not used.
 3. SiltSocks are designed to be used in applications where they are not used.
 4. Crushed material to be disposed on site, as determined by Engineer.

FLOOD PLAN INFORMATION: THESE PREMISES ARE SITUATED IN ZONE X (AREA DETERMINED TO BE OUTSIDE 0.2% CHANCE OF ANNUAL FLOODING) AS SHOWN ON MAP 2500SC0204F, EFFECTIVE ON 07/07/2009.

WETLAND AND RIVERFRONT AREA DELINEATION WAS PERFORMED BY SITE SOLUTIONS INC. SURVEYED BY GORODETSKY ENGINEERING LLC, AND APPROVED BY SEEKONK CONSERVATION COMMISSION.

EROSION & SEDIMENTATION CONTROL PLAN

DEFINITIVE PLAN OF THE SUBDIVISION OF LAND IN THE TOWN SEEKONK, SITUATED OFF CURT STREET
 ASSESSOR'S MAP 21 LOT 23 ZONING DISTRICT: R-2
 DATE OF PLAN: JANUARY 18, 2016 REVISED: 3/25/16
 OWNER/APPLICANT'S NAME AND ADDRESS:
 JOSEPH VIEIRA, TRUSTEE
 299 PROVIDENCE STREET, REHOBOTH, MA 02769 (508) 962-6749
 ENGINEER: GORODETSKY ENGINEERING, LLC
 422 NORTH MAIN STREET FALL RIVER MA (508)324-1163

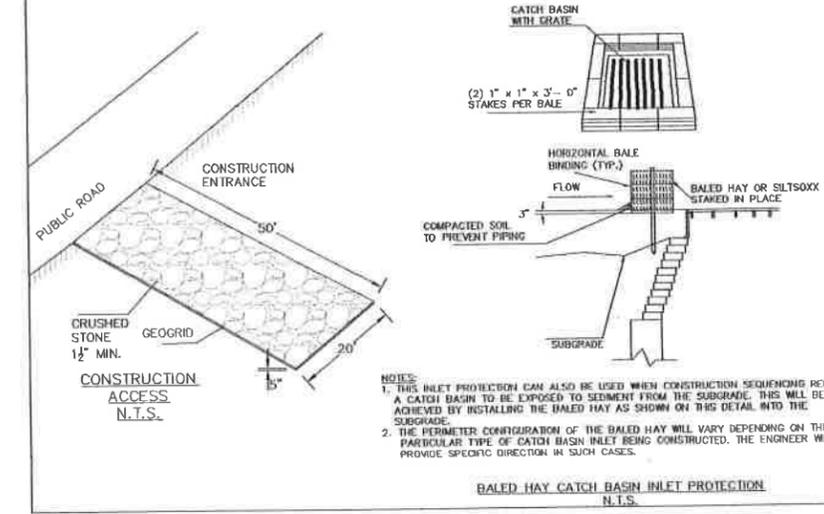
SHEET 7 OF 7

SCALE 1"=50' AND AS NOTED

PRELIM. PLAN FILED	2015
DEF. PLAN FILED	2015
DEF. PLAN APPROVED	2015
DEF. PLAN ENDORSED	2015

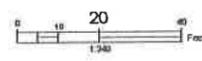
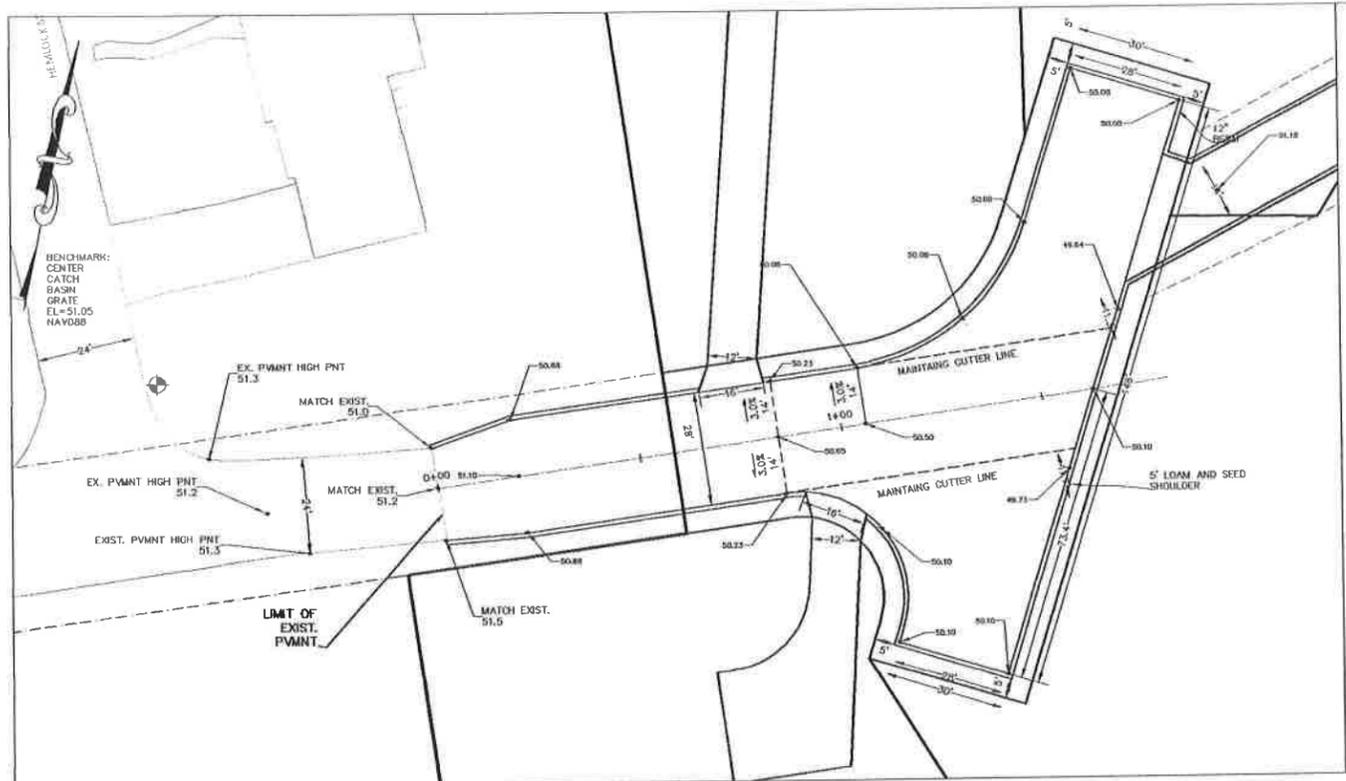
PERFORMANCE SURETY IN THE AMOUNT OF _____ HAVING BEEN DEPOSITED WITH THE SEEKONK TOWN TREASURER TO ASSURE COMPLETION OF THE WORKS SHOWN ON THIS PLAN TO THE SATISFACTION OF THE SEEKONK PLANNING BOARD OR BY OTHER SAID SURETY HAVING BEEN POSTED ON _____ THIS PLAN OF SUBDIVISION IS APPROVED BY THE SEEKONK PLANNING BOARD.

CLERK



- NOTES:**
1. THIS INLET PROTECTION CAN ALSO BE USED WHEN CONSTRUCTION SEQUENCING REQUIRES A CATCH BASIN TO BE EXPOSED TO SEDIMENT FROM THE SUBGRADE. THIS WILL BE ACHIEVED BY INSTALLING THE BALED HAY AS SHOWN ON THIS DETAIL INTO THE SUBGRADE.
 2. THE PERIMETER CONFIGURATION OF THE BALED HAY WILL VARY DEPENDING ON THE PARTICULAR TYPE OF CATCH BASIN INLET BEING CONSTRUCTED. THE ENGINEER WILL PROVIDE SPECIFIC DIRECTION IN SUCH CASES.

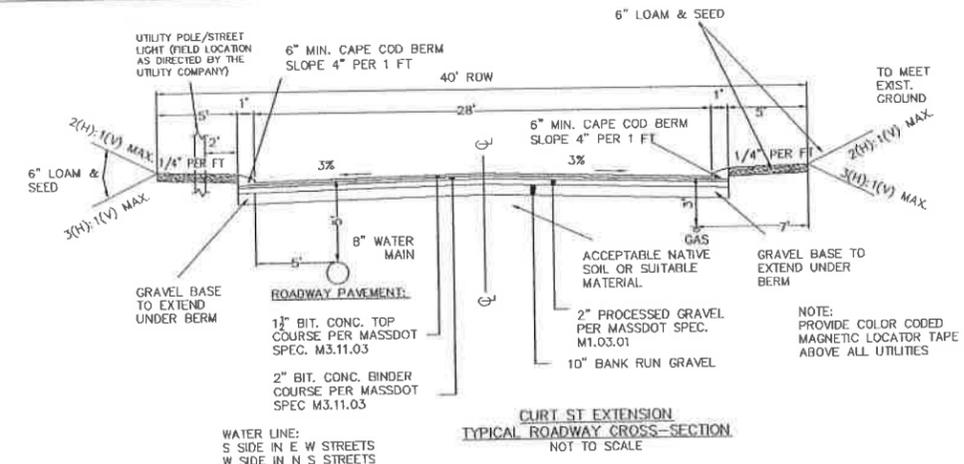
BALED HAY CATCH BASIN INLET PROTECTION N.T.S.



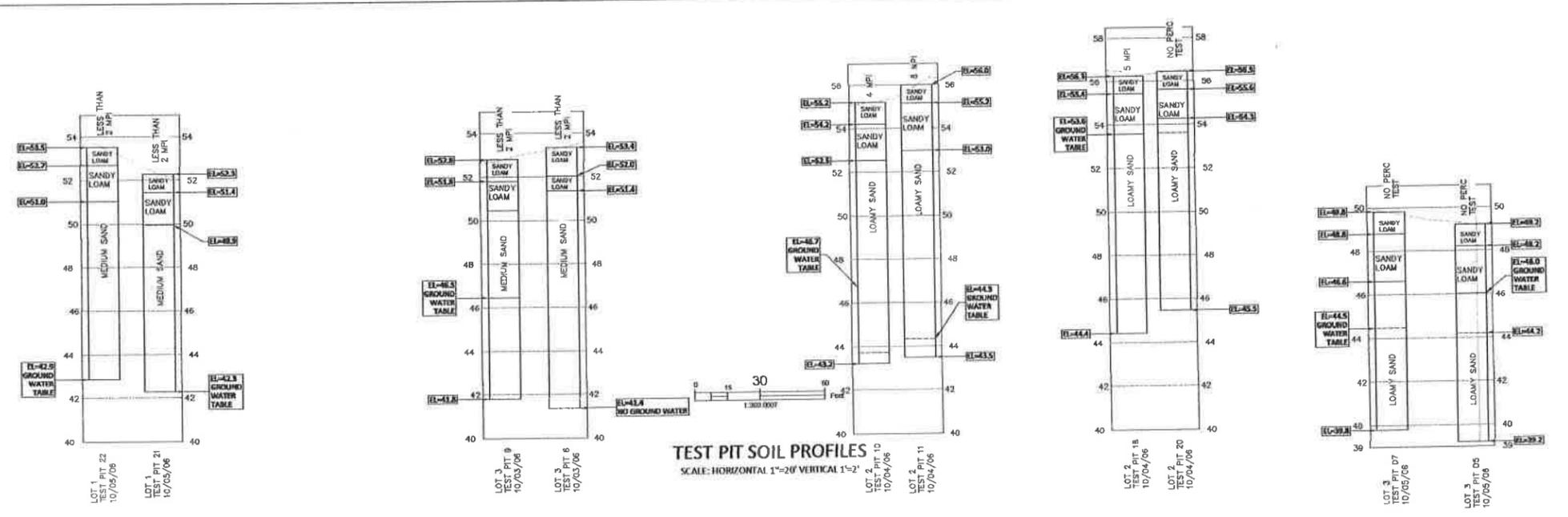
GRADING PLAN
SCALE 1"=20'



BERM DETAIL
NOT TO SCALE



CURT ST EXTENSION
TYPICAL ROADWAY CROSS-SECTION
NOT TO SCALE



TEST PIT SOIL PROFILES
SCALE: HORIZONTAL 1"=20' VERTICAL 1"=2'

ALL ELEVATIONS ARE NAVD 88
CURT STREET EXTENSION
HAMMER-HEAD GRADING PLAN & TYPICAL SECTION
SOIL PROFILES

DEFINITIVE PLAN OF THE SUBDIVISION OF LAND IN THE TOWN SEEKONK, SITUATED OFF CURT STREET ASSESSOR'S MAP 21 LOT 23 ZONING DISTRICT: R-2
DATE OF PLAN: JANUARY 18, 2016 REVISED: 3/25/16
OWNER/APPLICANT'S NAME AND ADDRESS: JOSEPH VEIRA, TRUSTEE 299 PROVIDENCE STREET, REHOBOTH, MA 02769 (508) 962-6749
ENGINEER: GORODETSKY ENGINEERING, LLC 422 NORTH MAIN STREET FALL RIVER MA (508)324-1163

SHEET 4 OF 7	PRELIM. PLAN FILED	2015
SCALE AS NOTED	DEF. PLAN FILED	2015
	DEF. PLAN APPROVED	2015
	DEF. PLAN ENDORSED	2015

PERFORMANCE SURETY IN THE AMOUNT OF _____ HAVING BEEN DEPOSITED WITH THE SEEKONK TOWN TREASURER TO ASSURE THE COMPLETION OF THE WORK SHOWN ON THIS PLAN TO THE SATISFACTION OF THE SEEKONK PLANNING BOARD ON OR BEFORE _____ SAID SURETY HAVING BEEN POSTED ON _____ THIS PLAN OF SUBDIVISION IS APPROVED BY THE SEEKONK PLANNING BOARD.

CLERK



Agenda Item: 2
Date: April 12, 2016

Planning Board
100 PECK STREET
SEEKONK, MASSACHUSETTS 02771
1-508-336-2961

TO: Planning Board
FROM: John J. Aubin III, Town Planner
RE: Site plan and ANR application to allow for construction of a proposed medical office building and associated site improvements

APPLICANT: Harry Leiser Revocable Trust/ 1058 Leiser, LLC

OWNER: Same

LOCATION: 1058-1060 Fall River Avenue, AP 7, Lots 15 and 16

REQUESTED ACTION: Site plan review of proposed 2961 sf medical office building and associated site improvements.

APPLICABLE ZONING BY-LAW PROVISIONS:

1. **Section 2.8 Site Plan Review**
2. **Section 8 Development and Design Standards**

ANALYSIS:

The applicant is before the Planning Board for site plan review in accordance with **Section 2.8 Site Plan Review** of the **Town of Seekonk Zoning By-Laws** in order to construct a 2961 square foot medical office building and associated site improvements on the subject parcels. The site, comprised of both AP 7, lots 15 and 16, is currently developed with a multi-tenant commercial building and associated parking, septic, drainage, and landscaping improvements. The medical office building is proposed to be located on lot 15. The parking area for both lots is designed as a shared parking area providing ingress and egress to Fall River Ave via two reconfigured curbcuts along the western lot line. Proposed site improvements include a new septic system for the proposed building (to be submitted to the Board of Health), reconfiguration and resurfacing of the parking area, lighting and landscaping improvements. The applicant intends to utilize the existing parking drainage facilities on site. A waiver will be required from submission of a drainage analysis. The applicant has received relief from the minimum required front and side setbacks for the proposed building from the Zoning Board of Appeals.

The subject parcels are comprised of 89,999 square feet of land and is zoned Highway Business. The surrounding area is comprised of high intensity commercial development associated with the Route 6 commercial corridor. Attached are copies of the Town's GIS aerial photos depicting the existing conditions on the site and in

the area. The proposed development is generally consistent with the surrounding development.

Regarding the compliance of the site plan application with the design standards set forth in **Section 8** of the **Seekonk Zoning By-Laws** the application appears to be consistent with the standards.

The application was reviewed by the Technical Review Committee on March 30, 2016. The applicant noted an existing condition regarding the location of a catch basin within the reserve area for the existing septic system on lot 16 that was noted by the Board of Health. The Fire Department requested confirmation that the proposed northerly curb cut is adequately dimensioned for large emergency vehicles. The Director of Communications requested that the address for the new building be prominently displayed on any free standing sign for the building and on its façade.

Should the Planning Board deem it appropriate to grant the requested site plan approval, it is respectfully requested that the Board make the follow findings of facts with regard to the proposed development based on the evidence presented by the applicant:

- Pursuant to **Section 2.8.5 Procedure** of the **Zoning By-Laws** that the applicant has met the requirements for the grant of a Certificate of Approval for the proposed Site Plan.
- That the submitted site plan meets the requirements of **Section 8 Development and Design Standards** of the **Zoning By-Laws**

The Office of Planning and Zoning would respectfully recommend the Planning Board consider the following conditions on any approval it may deem appropriate to grant relative to the subject application:

1. Approval of the proposed waste water treatment system by the Seekonk Board of Health;
2. Resolution of any outstanding comments generated by the staff review of the application and submission of a final plan.
3. Such other conditions as the Planning Board deems appropriate to ensure that the proposed development meets the required site plan design standards as set forth in the **Town of Seekonk Zoning by-Laws**.



TOWN OF SEEKONK

FORM D

PLANNING BOARD

100 PECK STREET, SEEKONK, MA 02771
1-508-336-2961

APPLICATION FORM FOR APPROVAL OF SITE PLAN REVIEW

Date: March 14, 2016

Applicant Name Harry Leiser Revocable Trust/1058 Leiser, LLC Phone No. 860-447-1122

Applicant Address 62 Mott Ave, New London, CT 06320

Address of Subject Property 1058 and 1080 Fall River Ave

Subject Property Plat No. 7 Subject Property Lot No. 15 and 16 Present Zoning HB

Checklist Form D:

- ✓ Application Form (2 x) Please note both copies must be originals, 1 copy for Planning and 1 copy for Town Clerk.
- ✓ Application fee is \$2.00 dollars per parking & loading space with a \$25 dollar minimum fee, CK # 5163 made out to the Town of Seekonk. The cost for an outside consultant review shall be borne by applicant
- ✓ Certificate of Good Standing, completed and signed by Tax Collector
- Applicant responsible for forwarding (1) copy of Plans and Drainage Report to Consulting Engineers. (Planning office will advise who the Engineers are for the project).
- ✓ Site Plan received (8) copies and (1) 11" x 17" conforming to the applicable contents of sec. 5.3 in the rules & regs. Governing subdivision of land in Seekonk. (5) Plans after approval.
- Site Plan Received (1) copy CD or DVD ✗
- Erosion & Sedimentation Control Plan conforming with Categories 20B & 20C of General By-laws.
- Drainage Plan/Calculations conforming with Categories 20B & 20C of General By-laws
- ✓ Landscaping Plan



Lighting Plan



Traffic study or documentation that sec. 10.6.1.20 does not apply



Architectural Plan

Received by:

Date: March 15, 2016

Time: 12:40 pm

*Signature: [Handwritten Signature]

*Signature of Applicant

[Handwritten Signature]

Address of Applicant 62 Mott Ave

New London, CT 06320

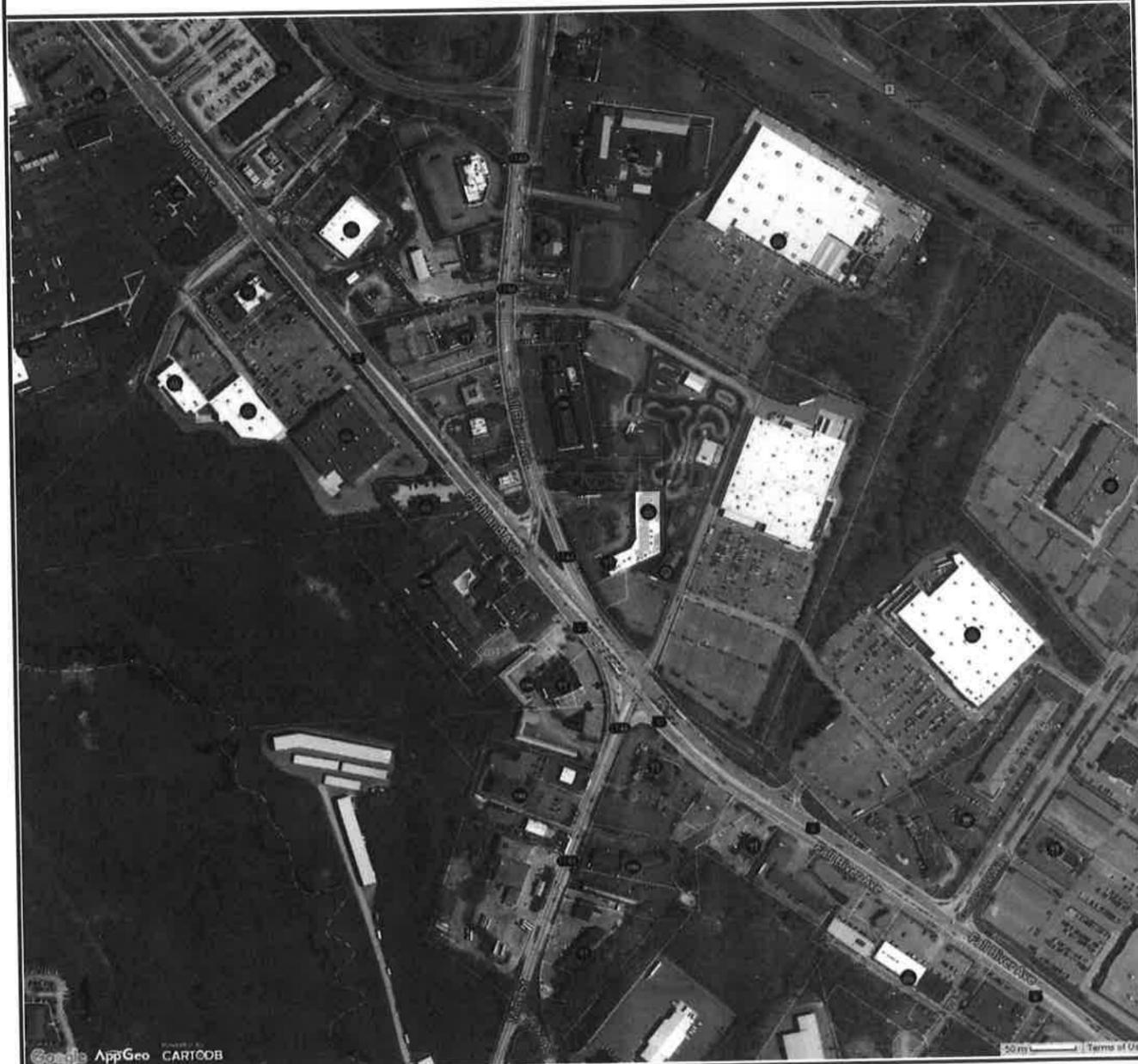
*Signature of Owner or Notarized letter (if applicable)

Address of Owner same as above

*Please use blue pen to sign

MAR 15 '16 PM 12:40

1058-1060 Fall River Avenue Area view

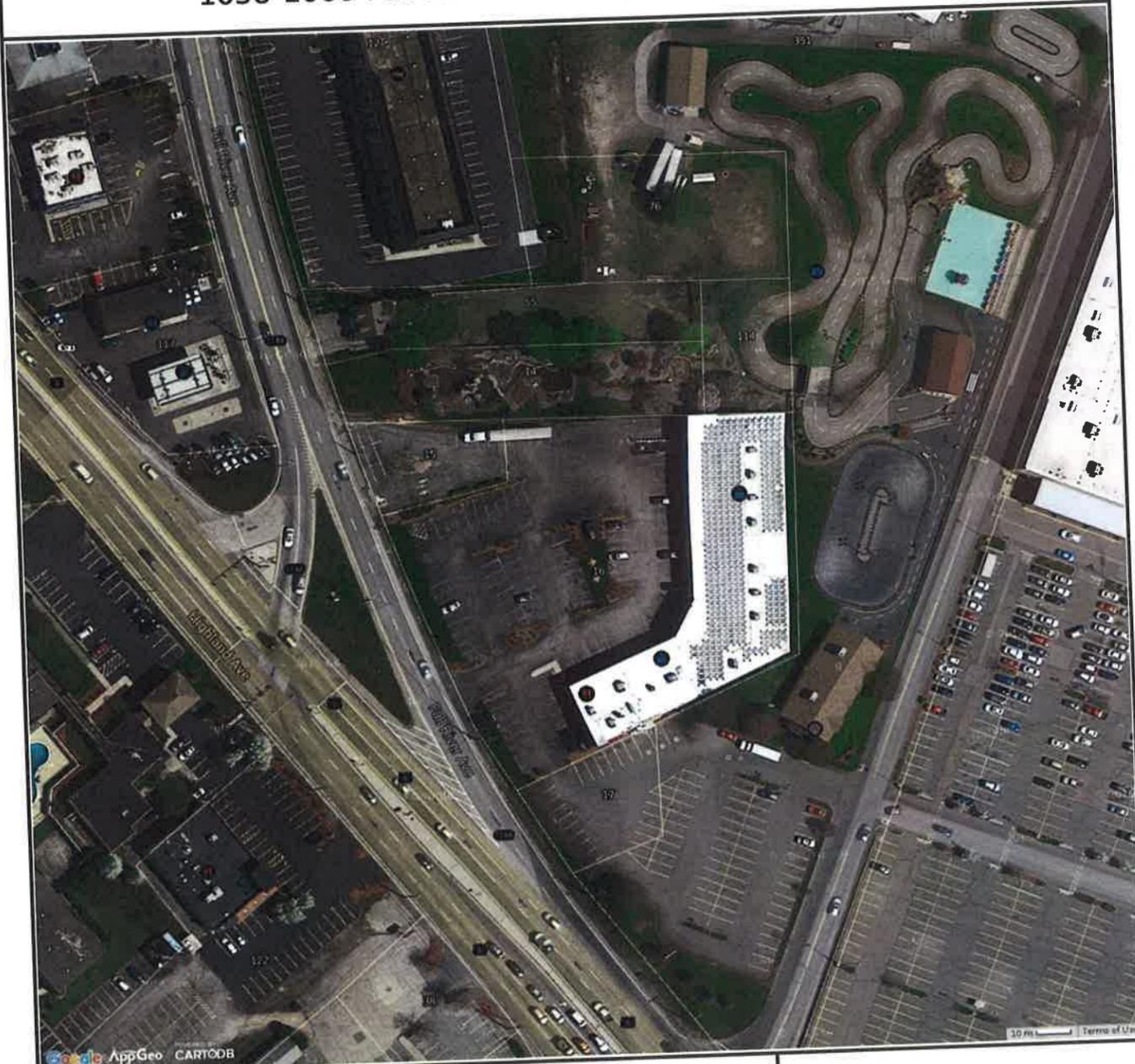


**MAP FOR REFERENCE ONLY
NOT A LEGAL DOCUMENT**

Town of Seekonk, MA makes no claims and no warranties, expressed or implied, concerning the validity or accuracy of the GIS data presented on this map.

Parcels updated 5/1/2015
Properties updated 1/1/2015

1058-1060 Fall River Avenue Existing Conditions



**MAP FOR REFERENCE ONLY
NOT A LEGAL DOCUMENT**

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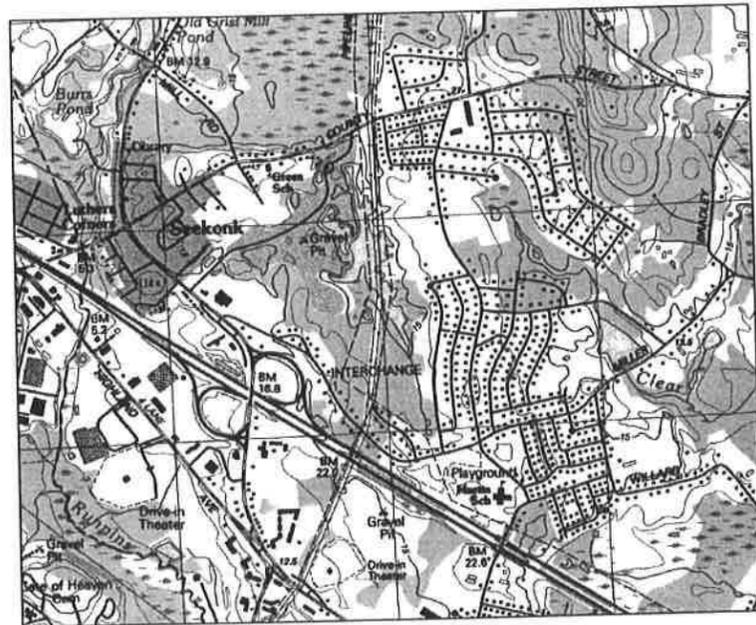
Parcels updated 5/1/2015
Properties updated 1/1/2015

Site Plan of "1058 & 1080 FALL RIVER AVE" in Seekonk, Massachusetts

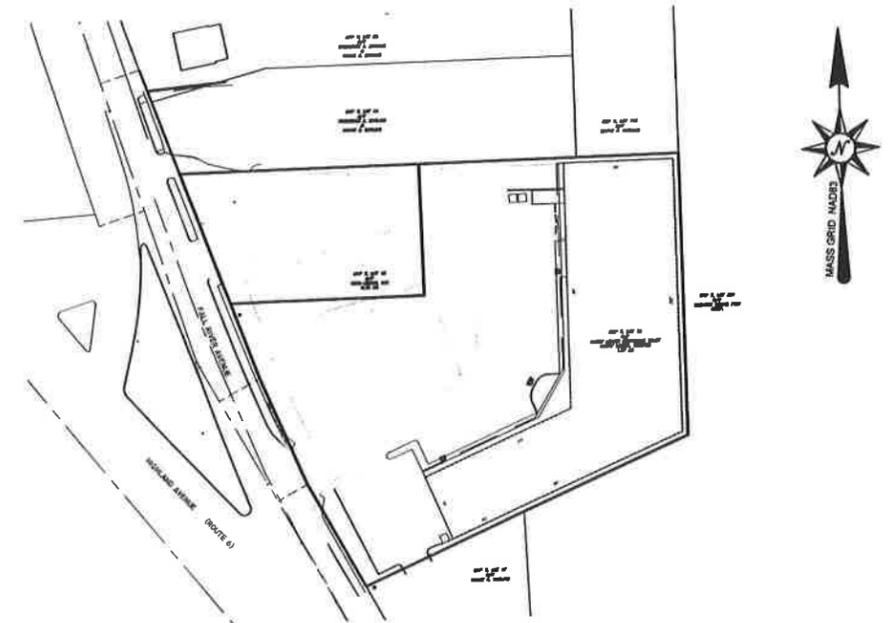
Date: December 31, 2015

Index Of Drawings

Sheet Number	Description
1	Cover & Index Sheet
2	Existing Conditions Plan
3	Demolition Plan
4	Proposed Parking & Site Plan
5	Drainage and Grading Plan
6	Landscape and Lighting Plan
7	Erosion and Sediment Control Plan
8	Detail Sheet



LOCATION MAP
SCALE 1" = 1000'



SITE MAP
SCALE 1" = 300'

GENERAL NOTES:

- OWNER OF RECORD:
 LOT 16 HARRY LEISER REVOCABLE TRUST
 HARRY LEISER, TRUSTEE
 62 MOTT AVENUE
 NEW LONDON, CT 06320

 LOT 15 1058-LEISER, LLC
 62 MOTT AVENUE
 NEW LONDON, CT 06320
- SITE SHOWN IS LOCATED IN ZONING DISTRICT 'HB - HIGHWAY BUSINESS'
 MINIMUM AREA = 0 S.F.
 MINIMUM LOT WIDTH AT STREET LINE = 50'
 MINIMUM FRONT YARD = 70'
 MINIMUM REAR YARD = 0'
 MINIMUM SIDE YARDS = 15'

3. WAIVERS REQUESTED	REQUIRED	REQUESTED	VARIANCE
FRONT YARD	70'	64.5'	5.5'
SIDE YARD	15'	3'	12'

PLAN REFERENCE

L PERMIT SET (7 SHEETS) "EXISTING CONDITIONS SURVEY MAP" PREPARED FOR THE SEEKONK REALTY, FLP, 1058 AND 1080 FALL RIVER AVENUE, SEEKONK, MASSACHUSETTS, BY CAPUTO AND WICK, DATED NOVEMBER 21, 2015.

CITY OF SEEKONK
 SEEKONK PLANNING BOARD
 APPROVED UNDER SUBDIVISION CONTROL LAW

CITY OF ATTLEBORO PLANNING BOARD

DATE APPROVED: _____

REVISION	DATE	COMMENTS
0	-	-

COVER AND INDEX SHEET

PROFESSIONAL SEALS

COVER SHEET

"1058 & 1080 FALL RIVER AVE"
 FALL RIVER AVENUE, SEEKONK, MA
 ASSESSORS MAP 7 LOTS 15 & 16

PREPARED FOR: LEISER REALTY
 62 MOTT AVE, NEW LONDON, CT 06320

JOB #: 15-032 SCALE: AS SHOWN DRAWN BY: MSF DATE: MARCH 14, 2016

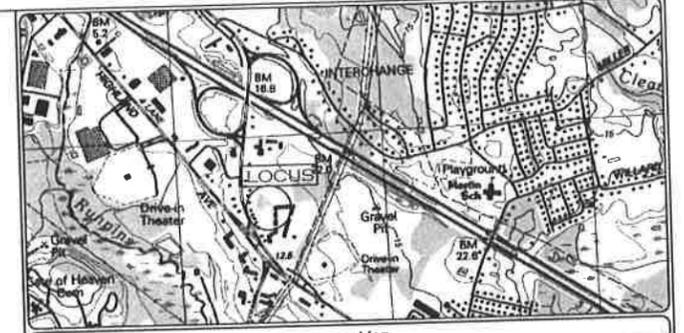
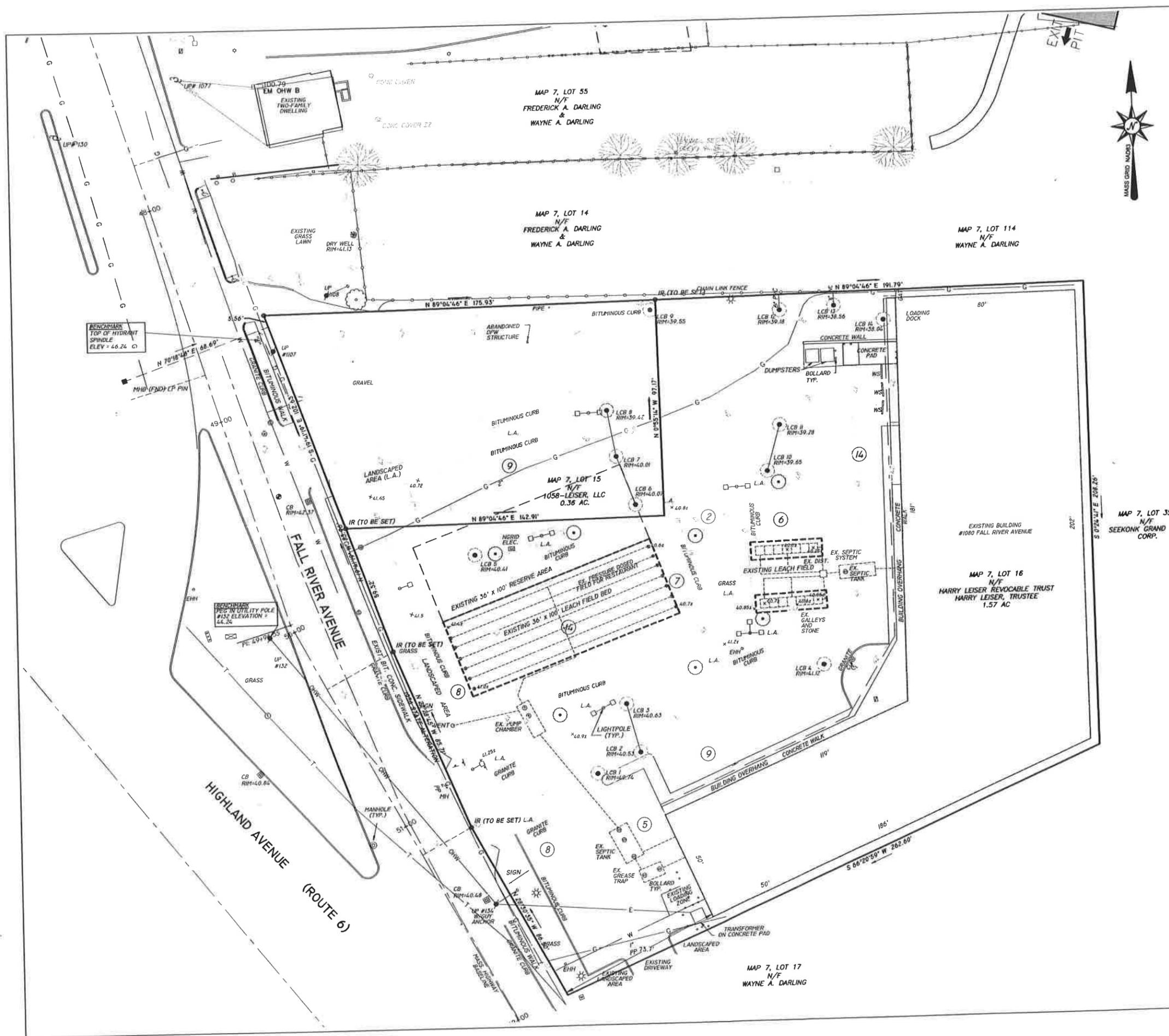
REVISED:

INSITE Engineering Services, LLC
 PROFESSIONAL ENGINEERS | LAND SURVEYORS
 Precision. Clarity. Certainty.

InSite Professional Complex, Suite 1
 1538 Fall River Avenue Seekonk, MA 02771
 Phone: (508) 336-4500 Fax: (508) 336-4558
 Web Address: InSiteEngineers.com

SHEET
1
 OF 8

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GENERAL NOTES:

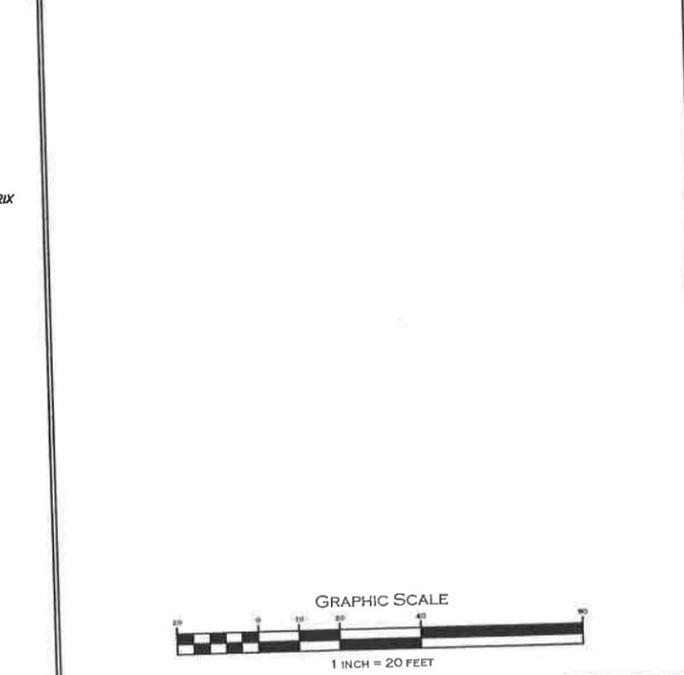
- OWNER OF RECORD:

LOT 16	HARRY LEISER REVOCABLE TRUST HARRY LEISER, TRUSTEE 62 MOTT AVENUE NEW LONDON, CT 06320
LOT 15	1058-LEISER, LLC 62 MOTT AVENUE NEW LONDON, CT 06320
- SITE SHOWN IS LOCATED IN ZONING DISTRICT "HB - HIGHWAY BUSINESS"

MINIMUM AREA	= 0.5 AC.
MINIMUM LOT WIDTH AT STREET LINE	= 50'
MINIMUM FRONT YARD	= 70'
MINIMUM REAR YARD	= 0'
MINIMUM SIDE YARDS	= 15'
- WAIVERS REQUESTED

FRONT YARD	70'	REQUESTED	64.5'	VARIANCE	5.5'
SIDE YARD	15'	REQUESTED	3'	VARIANCE	12'

PLAN REFERENCE
 1. PERMIT SET (7 SHEETS) "EXISTING CONDITIONS SURVEY MAP" PREPARED FOR THE SEEKONK REALTY, LLP, 1058 AND 1080 FALL RIVER AVENUE, SEEKONK, MASSACHUSETTS, BY CAPUTO AND WICK, DATED NOVEMBER 21, 2013.



EXISTING CONDITIONS PLAN

"1058 & 1080 FALL RIVER AVE"
 FALL RIVER AVENUE, SEEKONK, MA
 ASSESSORS MAP 7 LOTS 15 & 16

PREPARED FOR: LEISER REALTY
 62 MOTT AVE, NEW LONDON, CT 06320

JOB # 15-032	SCALE: 1"=20'	DRAWN BY: MSF	DATE: FEBRUARY 3, 2016
REVISED:			

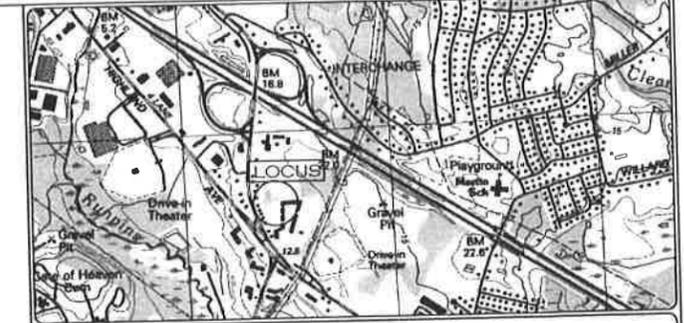
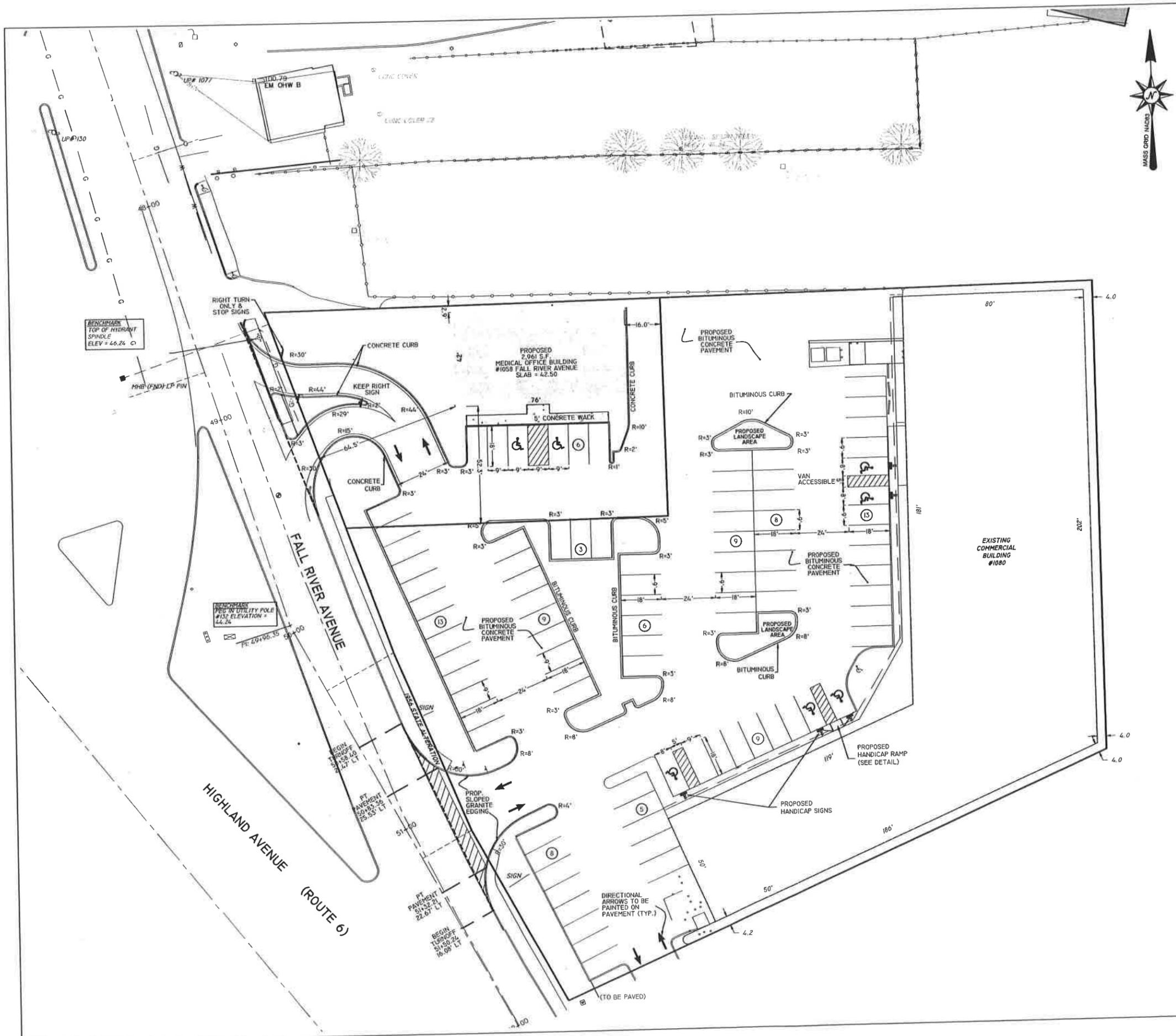
PROFESSIONAL SEAL: PAUL D. CAPUTO, CIVIL ENGINEER, NO. 40084

INSITE Engineering Services, LLC
 PROFESSIONAL ENGINEERS | LAND SURVEYORS
 Precision. Clarity. Certainty.

InSite Professional Complex, Suite 1
 1539 Fall River Avenue Seekonk, MA 02771
 Phone: (508) 336-4500 Fax: (508) 336-4558
 Web Address: InSiteEngineers.com

SHEET
2
 OF 8

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GENERAL NOTES:

- OWNER OF RECORD:
 LOT 16 HARRY LEISER REVOCABLE TRUST
 HARRY LEISER, TRUSTEE
 62 MOTT AVENUE
 NEW LONDON, CT 06320
 LOT 15 1054-LEISER, LLC
 62 MOTT AVENUE
 NEW LONDON, CT 06320
- SITE SHOWN IS LOCATED IN ZONING DISTRICT "HB - HIGHWAY BUSINESS"
 MINIMUM AREA = 0.5 F.
 MINIMUM LOT WIDTH AT STREET LINE = 50'
 MINIMUM FRONT YARD = 70'
 MINIMUM REAR YARD = 40'
 MINIMUM SIDE YARD = 15'
- WAIVERS REQUESTED

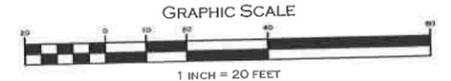
	REQUIRED	REQUESTED	VARIANCE
FRONT YARD	70'	64.5'	5.5'
SIDE YARD	15'	3'	12'

PLAN REFERENCE

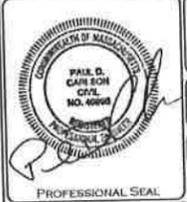
1. PERMIT SET (7 SHEETS) 'EXISTING CONDITIONS SURVEY' MAP PREPARED FOR THE SEEKONK REALTY, FLP, 1058 AND 1080 FALL RIVER AVENUE, SEEKONK, MASSACHUSETTS, BY CAPUTO AND WICK, DATED NOVEMBER 21, 2013.

PARKING CALCULATIONS

- EXISTING SPACES: 14 + 9 + 6 + 2 + 7 + 14 + 9 + 8 + 8 + 5 = 82 (INCLUDES 4 HANDICAP SPACES) (SEE EXISTING CONDITIONS PLAN).
- PROPOSED SPACES:
 MEDICAL OFFICE BUILDING
 2 SPACES / DOCTOR x 3 DOCTORS = 6 SPACES



PROPOSED PARKING & SITE PLAN



"1058 & 1080 FALL RIVER AVE"
 FALL RIVER AVENUE, SEEKONK, MA
 ASSESSORS MAP 7 LOTS 15 & 16

PREPARED FOR: LEISER REALTY
 62 MOTT AVE, NEW LONDON, CT 06320

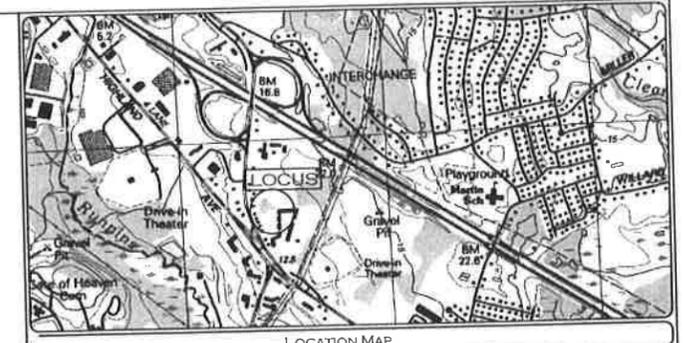
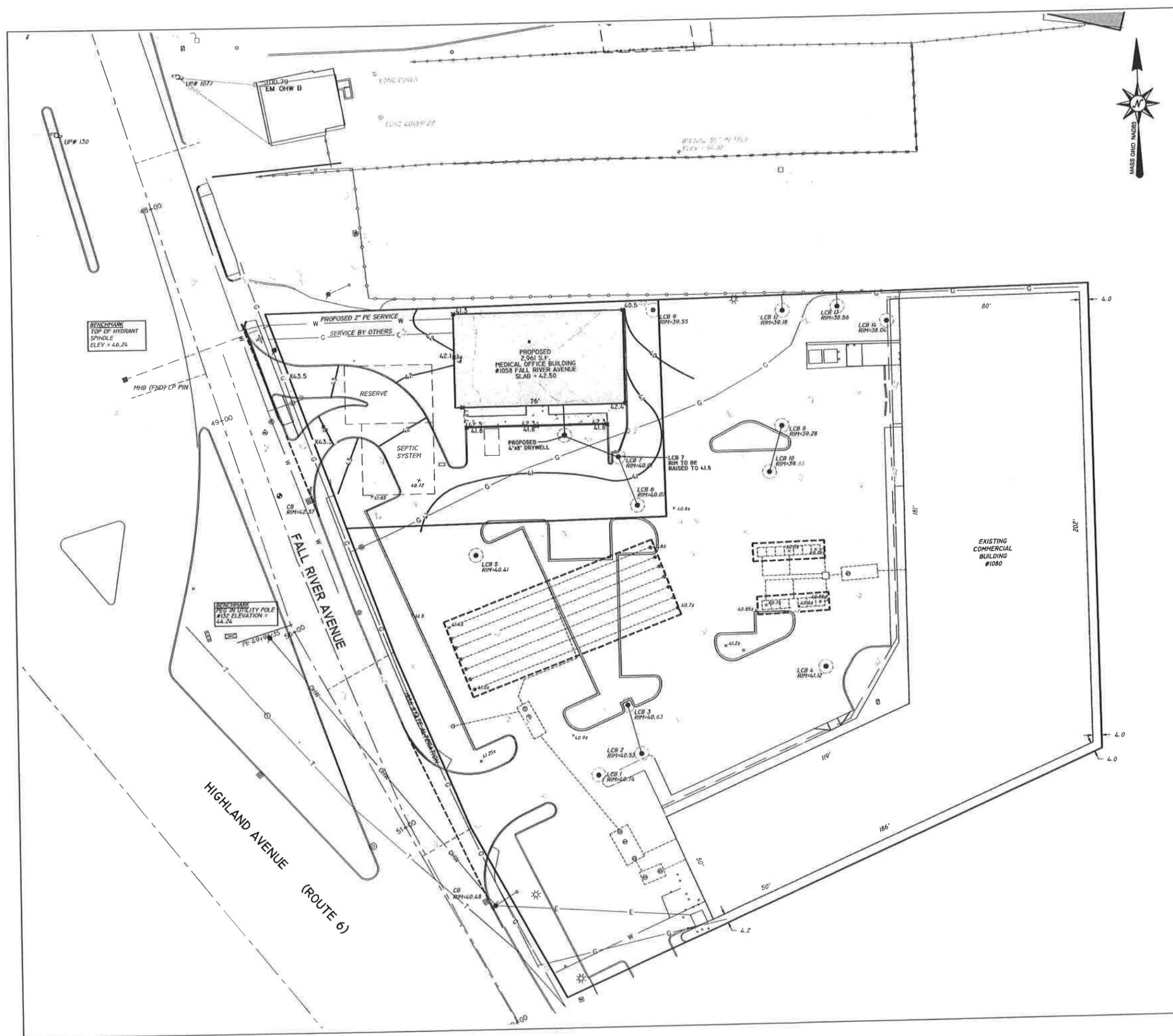
JOB # 15-032 SCALE: 1"=20' DRAWN BY: MSF DATE: MARCH 14, 2016

REVISED:

INSITE Engineering Services, LLC
 PROFESSIONAL ENGINEERS | LAND SURVEYORS
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InSite Professional Complex, Suite 1
 1539 Fall River Avenue Seekonk, MA 02771
 Phone: (508) 336-4500 Fax: (508) 336-4558
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SHEET
4
 OF 8



GENERAL NOTES:

1. OWNER OF RECORD:

LOT 16 HARRY LEISER REVOCABLE TRUST
HARRY LEISER, TRUSTEE
62 MOTT AVENUE
NEW LONDON, CT 06320

LOT 15 1058-LEISER, LLC
62 MOTT AVENUE
NEW LONDON, CT 06320

2. SITE SHOWN IS LOCATED IN ZONING DISTRICT "B" - HIGHWAY BUSINESS:

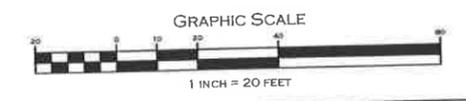
MINIMUM AREA	± 0 S.F.
MINIMUM LOT WIDTH AT STREET LINE	± 50'
MINIMUM FRONT YARD	± 70'
MINIMUM REAR YARD	± 0'
MINIMUM SIDE YARDS	± 15'

3. WAIVERS REQUESTED

REQUIRED	REQUESTED	VARIANCE
FRONT YARD 70'	64.5'	5.5'
SIDE YARD 15'	3'	12'

PLAN REFERENCE

1. PERMIT SET (7 SHEETS) "EXISTING CONDITIONS SURVEY MAP" PREPARED FOR THE SEEKONK REALTY, FLP, 1058 AND 1080 FALL RIVER AVENUE, SEEKONK, MASSACHUSETTS, BY CAPUTO AND WICK, DATED NOVEMBER 21, 2013.



PROPOSED DRAINAGE AND UTILITY PLAN



"1058 & 1080 FALL RIVER AVE"
FALL RIVER AVENUE, SEEKONK, MA
ASSESSORS MAP 7 LOTS 15 & 16

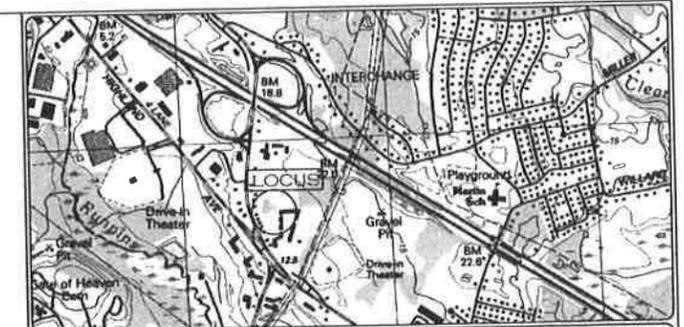
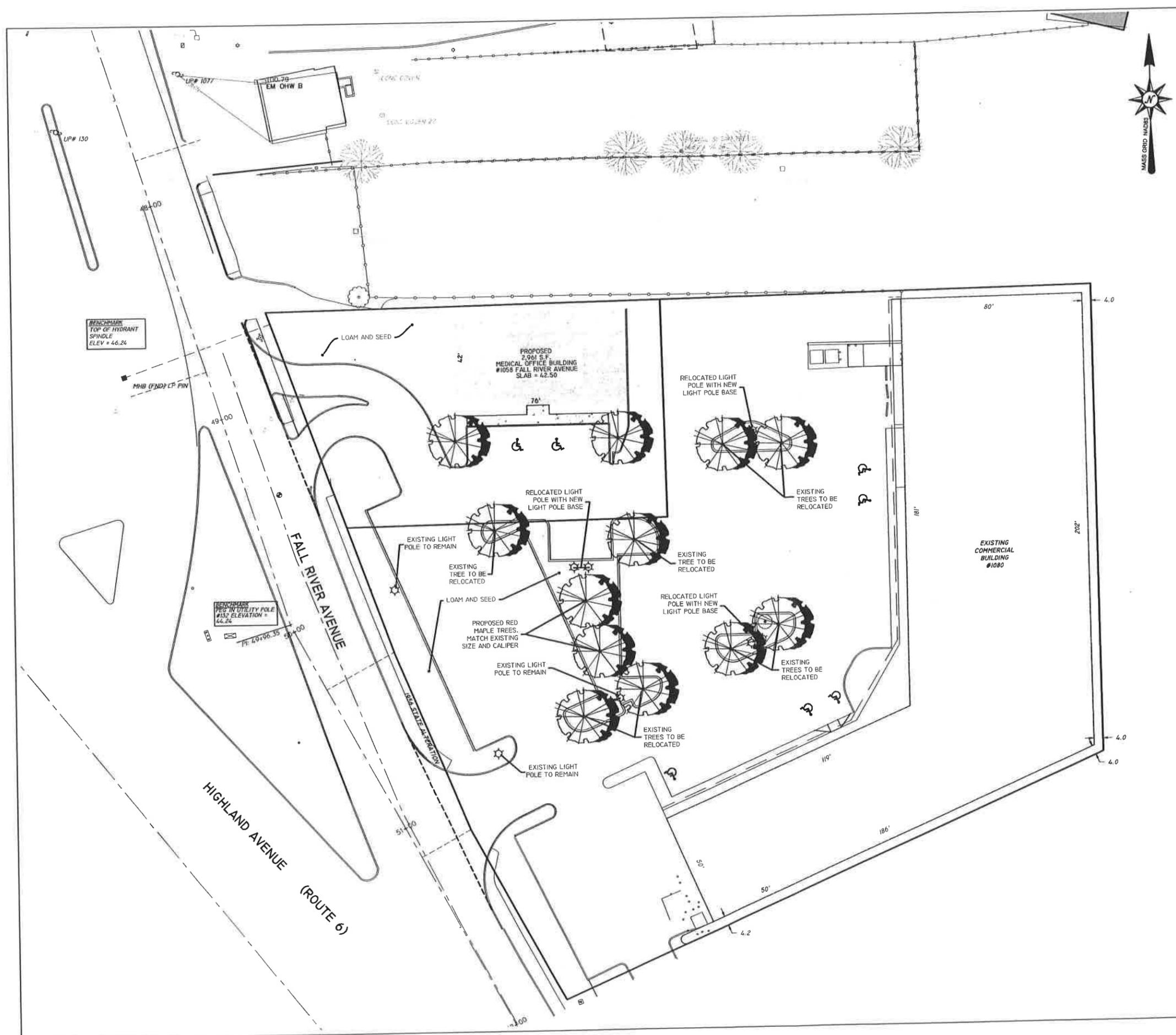
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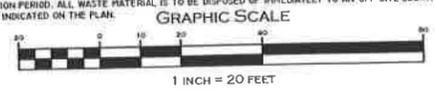
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LOCATION MAP

- GENERAL NOTES:**
- ALL PLANT MATERIAL MUST BE TAGGED IN THE GROUND, AT THE NURSERY BY THE LANDSCAPE ARCHITECT. ALL PLANT MATERIAL SHALL BE COMMERCIALY OBTAINED AND SHALL MEET THE AMERICAN ASSOCIATION OF HORTICULTURAL STANDARDS FOR NURSERY STOCK, LATEST EDITION AND ITS AMENDMENTS. PLANT ONLY DURING SEASON NORMAL TO THE PARTICULAR VARIETY. ALL PLANT INSPECTIONS WILL BE AT THE EXPENSE OF THE CONTRACTOR. PERMANENT SEALS WILL BE REQUIRED.
 - PLANTING BEDS SHALL BE EXCAVATED TO A MINIMUM DEPTH OF 12" AND NEW LOAM AND COMPOST (50/50 MIX) SHALL BE INCORPORATED INTO THE PLANTING BED TO MEET SURROUNDING GRADES UNLESS OTHERWISE NOTED OR DETAILED. COVER ALL PLANTING BEDS WITH 3" SHIPPED HARDWOOD BARK MULCH WITHIN A SEVENTY-TWO HOUR PERIOD AFTER PLANTING. SEE PLAN FOR BED LAYOUT.
 - ALL EXISTING AND PROPOSED TREES SHOWN IN LAWN AREAS SHALL RECEIVE A 5" DIAMETER MULCH BED. MULCH SHALL BE PLACED TO A DEPTH OF 3". REMOVE ALL SOIL, ROOTS, STICKS AND STONES PRIOR TO PLACEMENT OF MULCH.
 - ALL PLANT MATERIALS FURNISHED BY THE CONTRACTOR SHALL BE GUARANTEED FOR A PERIOD OF ONE YEAR FROM FINAL ACCEPTANCE OF LANDSCAPE WORK.
 - STAKE ALL TREES OVER 5' AS SHOWN ON DETAILS. REMOVE STAKES AT THE END OF THE GUARANTEE PERIOD.
 - THE CONTRACTOR IS RESPONSIBLE FOR KEEPING THE SITE CLEAN OF MISCELLANEOUS DEBRIS THROUGHOUT THE CONSTRUCTION PERIOD. ALL WASTE MATERIAL IS TO BE DISPOSED OF IMMEDIATELY TO AN OFF-SITE LOCATION UNLESS OTHERWISE INDICATED ON THE PLANS.
 - THE CONTRACTOR SHALL PERFORM ALL WORK IN ACCORDANCE WITH ALL LOCAL, STATE, AND FEDERAL REGULATIONS, AND SHALL OBTAIN ALL NECESSARY PERMITS FOR THIS PROJECT.
 - LOAM: LOAM MOVED DURING THE COURSE OF CONSTRUCTION SHALL BE RETAINED AND DISTRIBUTED WITHIN THE SITE IN ACCORDANCE WITH THE LANDSCAPE PLAN. STOCKPILED LOAM SHALL NOT BE MIXED WITH ANY SUBSOIL, ROCKS OR WEEDS OR UNDESIRABLE MATERIALS. ALL EXCESS LOAM SHALL REMAIN ON THE PROPERTY OF THE OWNER. NEW LOAM IF REQUIRED TO PROVIDE THE SPECIFIED DEPTH, SHALL BE A FERTILE, FINE-MEDIUM TEXTURED SANDY LOAM FREE OF MATERIAL TOXIC TO HEALTHY PLANT GROWTH. LOAM SHALL ALSO BE FREE OF ALL STUMPS, ROOTS, STONES AND OTHER EXTRANEIOUS MATTER AN INCH (1") OR GREATER IN DIAMETER. THE PH SHALL BE BETWEEN 6.5 AND 7.5. ORGANIC CONTENT SHALL BE A MINIMUM OF 5%.
 - LAWN PREPARATION: REMOVE ALL DEBRIS AND OTHER INORGANIC MATERIALS ON THE PREPARED SUBGRADE. RESHAPE AND DRESS ANY DAMAGED OR ERODED AREA PRIOR TO SPREADING THE LOAM. SCARIFY AND LOOSEN SUBGRADE IN ANY AREAS WHERE CONSTRUCTION HAS OCCURRED. SPREAD STOCKPILED AND OFF-SITE LOAM ON ALL DISTURBED AREAS TO PRODUCE A DEPTH OF 4" UNLESS OTHERWISE NOTED ON THE PLANS. FINE GRADE LOANED AREAS TO PRODUCE A SMOOTH AND UNBROKEN FINISH GRADE TO THE REQUIRED DEPTH. APPLY A STARTER FERTILIZER (10-20-10) AT A RATE OF 20 LBS. PER 1000 SQUARE FEET AND LIME AT A RATE OF 1.0 LBS. PER 1000 SQUARE FEET UNLESS OTHERWISE NOTED ON THE PLANS OR IN THE SPECIFICATIONS. ONCE SPREAD, THE FERTILIZER AND LIME SHALL BE THOROUGHLY INCORPORATED INTO THE LOAM. THE LOAM SHALL BE ROLLED, AND DEPRESSIONS SHALL BE TOP DRESSED AND RAKED TO CREATE A SMOOTH SURFACE.
 - SEEDING: SEEDING SHALL TAKE PLACE BETWEEN MARCH 15 AND MAY 31 OR AUGUST 15 AND OCTOBER 15 ONLY. SEED SHALL BE PURE, LIVE, FRESH SEED FROM COMMERCIAL SOURCES MEETING AND LABELED IN ACCORDANCE WITH STATE AND FEDERAL RULES AND REGULATIONS. THE SEED MIXTURE SHALL BE AS NOTED ON THIS SHEET. SEEDING SHALL BE APPLIED AT A MINIMUM IN ALL AREAS OF THE SITE THAT HAVE BEEN DISTURBED OR ARE BARREN UNLESS OTHERWISE NOTED ON THE PLANS. SEED SHALL BE APPLIED AT THE RATES INDICATED PER SEED MIX.
 - PROTECTION OF EXISTING PLANTINGS: MAXIMUM EFFORT SHOULD BE MADE TO SAVE TREE OR OTHER PLANT SPECIMENS WHICH ARE LARGE FOR THEIR SPECIES, RARE TO THE AREA, OR OF SPECIAL HORTICULTURAL OR LANDSCAPE VALUE. CONTACT OWNER/LANDSCAPE ARCHITECT BEFORE REMOVING ANY SPECIMEN OF THIS TYPE UNLESS OTHERWISE NOTED ON THE PLANS. NO MATERIAL OR TEMPORARY SOIL DEPOSITS SHALL BE PLACED WITHIN THE DRIF LINE OF SHRUBS OR TREES DESIGNATED ON THE LANDSCAPE PLAN TO BE RETAINED. PROTECTIVE BARRIERS ARE TO BE INSTALLED AROUND EACH PLANT AND/OR GROUP OF PLANTS THAT ARE TO REMAIN ON THE SITE. BARRIERS SHALL NOT BE SUPPORTED BY THE PLANTS THEY ARE PROTECTING, BUT SHALL BE SELF SUPPORTING. THEY SHALL BE OF MINIMUM OF FOUR FEET (4') HIGH AND CONSTRUCTED OF A DURABLE MATERIAL, SUCH AS SNOW OR SILT FENCE, THAT WILL LAST UNTIL CONSTRUCTION IS COMPLETED.
 - PRUNING: THE CONTRACTOR SHALL EMPLOY A CERTIFIED ARBORIST TO PRUNE ANY EXISTING ROOTS OR BRANCHES CAREFULLY PRUNE BRANCHES IN THE WAY OF CONSTRUCTION BY USING ONLY APPROVED METHODS AND TOOLS. THE USE OF AXES FOR TRIPPING OR SPLURS FOR CLIMBING WILL NOT BE PERMITTED.
 - EXISTING UTILITIES: IN ACCORDANCE WITH DIG-SAFE LAW (9-809-225-4977), THE CONTRACTOR SHALL CONTACT ALL APPLICABLE UTILITY COMPANIES AND VERIFY UTILITY LINE LOCATIONS. THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR ANY/FALL UTILITY DAMAGE. RECORD LOCATIONS OF DIG-SAFE UTILITY LINE MARKINGS ON PROJECT RECORD DOCUMENTS.
 - DISTURBED AREAS: ANY AREAS DISTURBED DURING THE COURSE OF CONSTRUCTION ARE TO BE RESTORED TO ORIGINAL (OR BETTER) CONDITION BY CONTRACTOR BEFORE COMPLETION OF THE PROJECT, AND ARE SUBJECT TO APPROVAL BY LANDSCAPE ARCHITECT AND OWNER. ALL GRASS AREAS DISTURBED DURING CONSTRUCTION SHALL BE YORK RAKED TO REMOVE STONES AND LOAMED AND SEED AS PER SPECIFICATIONS.
 - LAYOUT: ALL NOTES AND DIMENSIONS ARE TYPICAL UNLESS OTHERWISE NOTED. ALL DIMENSIONS ARE SQUARE PARALLEL, OR PERPENDICULAR UNLESS OTHERWISE NOTED. THE CONTRACTOR SHALL NOTIFY THE OWNER/OWNER'S REPRESENTATIVE IMMEDIATELY IN THE EVENT OF ANY DISCREPANCIES FOUND IN THE CONTRACT DOCUMENTS AND/OR IN THE FIELD, OR OF CONDITIONS UNCOVERED IN THE WORK WHICH ARE NOT REFLECTED IN THE PLANS.
 - DRAINAGE SYSTEMS: CONTRACTOR IS RESPONSIBLE FOR GENERAL CLEAN-OUT OF ALL CATCH BASINS, MANHOLES, AND/OR OTHER DRAINAGE FEATURES ON THE SITE WHICH HAVE ACCUMULATED SEDIMENT AS A RESULT OF CONSTRUCTION ACTIVITIES.
 - CLEANING: CONTRACTOR IS RESPONSIBLE FOR KEEPING SITE CLEAN OF MISCELLANEOUS DEBRIS THROUGHOUT THE CONSTRUCTION PERIOD. ALL WASTE MATERIAL IS TO BE DISPOSED OF IMMEDIATELY TO AN OFF-SITE LOCATION UNLESS OTHERWISE INDICATED ON THE PLAN.



LANDSCAPE AND LIGHTING PLAN

"1058 & 1080 FALL RIVER AVE"
 FALL RIVER AVENUE, SEEKONK, MA
 ASSESSORS MAP 7 LOTS 15 & 16

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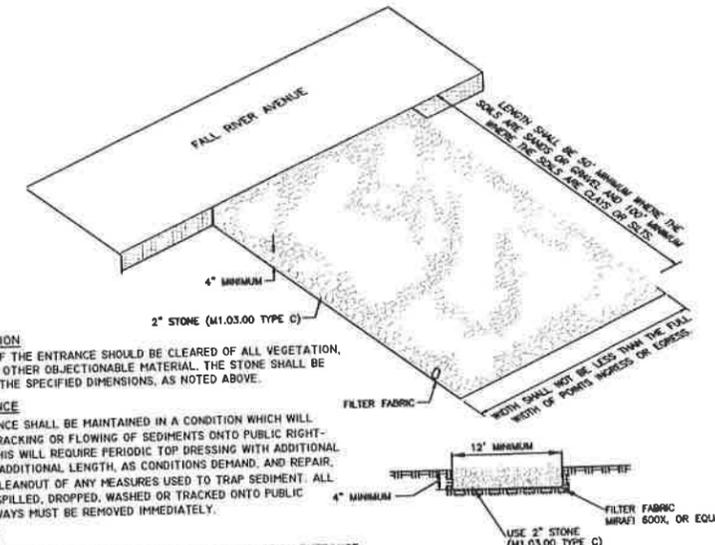
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 1530 Fall River Avenue, Seekonk, MA 02771
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Erosion & Sediment Control Notes:

- 1.) EROSION AND SEDIMENT CONTROL MEASURES WILL BE INSTALLED PRIOR TO THE START OF CONSTRUCTION. GRAVEL CONSTRUCTION ENTRANCE WILL BE INSTALLED BEFORE CONSTRUCTION TRAFFIC INTO AND OUT OF PROJECT AREA BEGINS. STABILIZATION OF ALL REGRADED AND SOIL STOCKPILE AREAS WILL BE INITIATED AND MAINTAINED DURING ALL PHASES OF CONSTRUCTION.
- 2.) ALL EROSION AND SEDIMENT CONTROL MEASURES WILL BE CONSTRUCTED IN ACCORDANCE WITH THE TOWN OF SEEKONK REGULATIONS. ALL EROSION CONTROL MEASURES ARE TO BE MAINTAINED AND UPGRADED AS REQUIRED TO ACHIEVE PROPER SEDIMENT CONTROL DURING CONSTRUCTION.
- 3.) ADDITIONAL CONTROL MEASURES WILL BE INSTALLED DURING CONSTRUCTION PERIOD, IF DEEMED NECESSARY BY THE OWNER OR AGENTS OF THE OWNER.
- 4.) SEEDING MIXTURE FOR FINISHED GRASSED AREAS WILL BE AS FOLLOWS:
 KENTUCKY BLUE GRASS = 45 %
 CREEPING RED FESCUE = 45 %
 PERENNIAL RYE GRASS = 10 %
 SEED TO APPLIED AT A RATE OF 4 LBS / 1000 S.F. FERTILIZER SHALL BE APPLIED AT A RATE OF 2 LBS / 1000 S.F.
 PLANTING SEASON SHALL BE APRIL 1 TO OCTOBER 15. AFTER OCTOBER 15 AREAS NOT SEEDING SHALL BE STABILIZED WITH HAY BALE CHECK, FILTER FABRIC OF WOODEN MULCH AS REQUIRED TO CONTROL EROSION.
- 5.) AREAS LEFT BARE BEFORE FINISH GRADING AND SEEDING IS ACHIEVED, SHALL RECEIVE A TEMPORARY SEEDING OF PERENNIAL RYE GRASS APPLIED TO A RATE OF 2 LBS / 1000 S.F. AT A DEPTH OF 1/2" LIMESTONE (EQUIVALENT TO BE 50 % CALCIUM PLUS MAGNESIUM OXIDE) SHALL BE APPLIED AS SEEDBED PREPARATION AT A RATE OF 80 LBS / 1000 S.F., WHERE GRASS PREDOMINATES, FERTILIZE

- ACCORDING TO A SOIL TEST AT A MINIMUM APPLICATION RATE OF 1 LB OF NITROGEN PER 1000 S.F.
- AREAS TO BE LEFT BARE BEFORE FINISH GRADING AND SEEDING OUTSIDE OF PLANTING SEASONS SHALL RECEIVE AN AIR-DRIED WOOD CHIP MULCH, FREE OF COARSE MATTER, TREATED WITH 12 LBS NITROGEN PER TON, APPLIED AT A RATE OF 185-275 LBS / 1000 S.F.
- 6.) CONTRACTOR SHALL BE ASSIGNED THE RESPONSIBILITY FOR IMPLEMENTING THIS EROSION AND SEDIMENT CONTROL PLAN. THIS RESPONSIBILITY INCLUDES THE INSTALLATION AND MAINTENANCE OF CONTROL MEASURES, INFORMING ALL PARTIES ENGAGED ON THE CONSTRUCTION SITE OF THE REQUIREMENTS AND OBJECTIVES OF THE PLAN, AND NOTIFY THE PROPER TOWN AGENCY OF ANY TRANSFER OF THIS RESPONSIBILITY. THE OWNER SHALL BE RESPONSIBLE FOR CONVEYING A COPY OF THE EROSION AND SEDIMENT CONTROL PLAN IF THE TITLE TO THE LAND IS TRANSFERRED.
 - 7.) THE CONTRACTOR SHALL REQUEST THE LOCAL APPROVING AUTHORITY (LAA) INSPECT AND APPROVE THE INSTALLATION OF ALL EROSION CONTROL MEASURES PRIOR TO THE START OF CONSTRUCTION. PERIODIC INSPECTIONS OF EROSION CONTROL MEASURES MAY BE PERFORMED BY THE LAA. THE CONTRACTOR SHALL REPAIR, UPGRADE OR REPLACE ANY MEASURES THE LAA MAY FEEL ARE IN NEED OF SUCH.
 - 8.) STOCKPILES OF SOIL SHALL BE SURROUNDED BY A SEDIMENT BARRIER. SOIL STOCKPILES TO BE LEFT BARE FOR MORE THAN FIFTEEN (15) DAYS SHALL BE STABILIZED WITH TEMPORARY VEGETATION OR MULCH. IF STOCKPILES ARE TO REMAIN FOR MORE THAN SIXTY (60) DAYS, FILTER FABRIC SHALL BE USED IN PLACE OF HAY BALES. SIDE SLOPES SHALL NOT EXCEED 2:1.
 - 9.) THE CONTRACTOR SHALL BE RESPONSIBLE TO CONTROL DUST AND WIND EROSION THROUGHOUT THE LIFE OF HIS CONTRACT. DUST CONTROL SHALL INCLUDE BUT NOT LIMITED TO SPRINKLING WATER ON EXPOSED SOILS AND HALL ROADS. CONTRACTOR SHALL CONTROL DUST TO PREVENT A HAZARD TO TRAFFIC ON ADJACENT ROADWAYS.

- 10.) SEDIMENT SHALL BE REMOVED ONCE THE VOLUME REACHES 1/2 TO 1/3 THE HEIGHT OF THE SILT FENCE OR HAY BALE
- 11.) ALL STOCKPILES SHALL BE SURROUNDED BY SEDIMENT CONTROLS
- 12.) DISTURBED AREAS REMAINING IDLE FOR MORE THAN 14 DAYS SHALL BE STABILIZED.
- 13.) DUST SHALL BE CONTROLLED AT THE SITE.
- 14.) ALL FACILITIES USED AS TEMPORARY MEASURES SHALL BE CLEANED PRIOR TO BEING PUT INTO FINAL OPERATION.



INSTALLATION

THE AREA OF THE ENTRANCE SHOULD BE CLEARED OF ALL VEGETATION, ROOTS, AND OTHER OBJECTIONABLE MATERIAL. THE STONE SHALL BE PLACED TO THE SPECIFIED DIMENSIONS, AS NOTED ABOVE.

MAINTENANCE

THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION WHICH WILL PREVENT TRACKING OR FLOWING OF SEDIMENTS ONTO PUBLIC RIGHT-OF-WAYS THIS WILL REQUIRE PERIODIC TOP DRESSING WITH ADDITIONAL STONE, OR ADDITIONAL LENGTH, AS CONDITIONS DEMAND, AND REPAIR, AND / OR CLEANOUT OF ANY MEASURES USED TO TRAP SEDIMENT. ALL SEDIMENT SPILLED, DROPPED, WASHED OR TRACKED ONTO PUBLIC RIGHT-OF-WAYS MUST BE REMOVED IMMEDIATELY.

LOCATION

SEE EROSION CONTROL PLAN FOR LOCATION OF CONSTRUCTION ENTRANCE.

CONSTRUCTION ENTRANCE DETAIL

NOT TO SCALE

Notes:

TO PROTECT THE WATER QUALITY & INFILTRATION SURFACES FROM DEGRADATION BY CONSTRUCTION ACTIVITIES INCLUDE:

1. PREVENTION OF CONTAMINATION OF THE EXPOSED SUBGRADE BY CONSTRUCTION VEHICLES.
2. PREVENTION OF EXCESSIVE COMPACTION BY CONSTRUCTION VEHICLES.
3. PREVENTION OF THE DISCHARGE OF WATER FROM CONSTRUCTION DEWATERING ACTIVITIES INTO THESE FACILITIES.
4. PREVENTION OF DISCHARGE OF STORMWATER INTO THESE FACILITIES UNTIL THE CONTRIBUTING AREAS ARE STABILIZED, UNLESS SPECIFIC MEASURES ARE PROVIDED FOR PROTECTING AND RESTORING THE INFILTRATION SURFACE.

Operation & Maintenance Plan:

THE MAINTENANCE AND UPKEEP ON THE SITE WILL INCLUDE THE FOLLOWING ELEMENTS:
 GENERAL MAINTENANCE OF EROSION CONTROL ELEMENTS INCLUDING REGRADED, REVEGETATION, REPLACING RIPRAP, ETC., ON AN AS NEEDED BASIS.

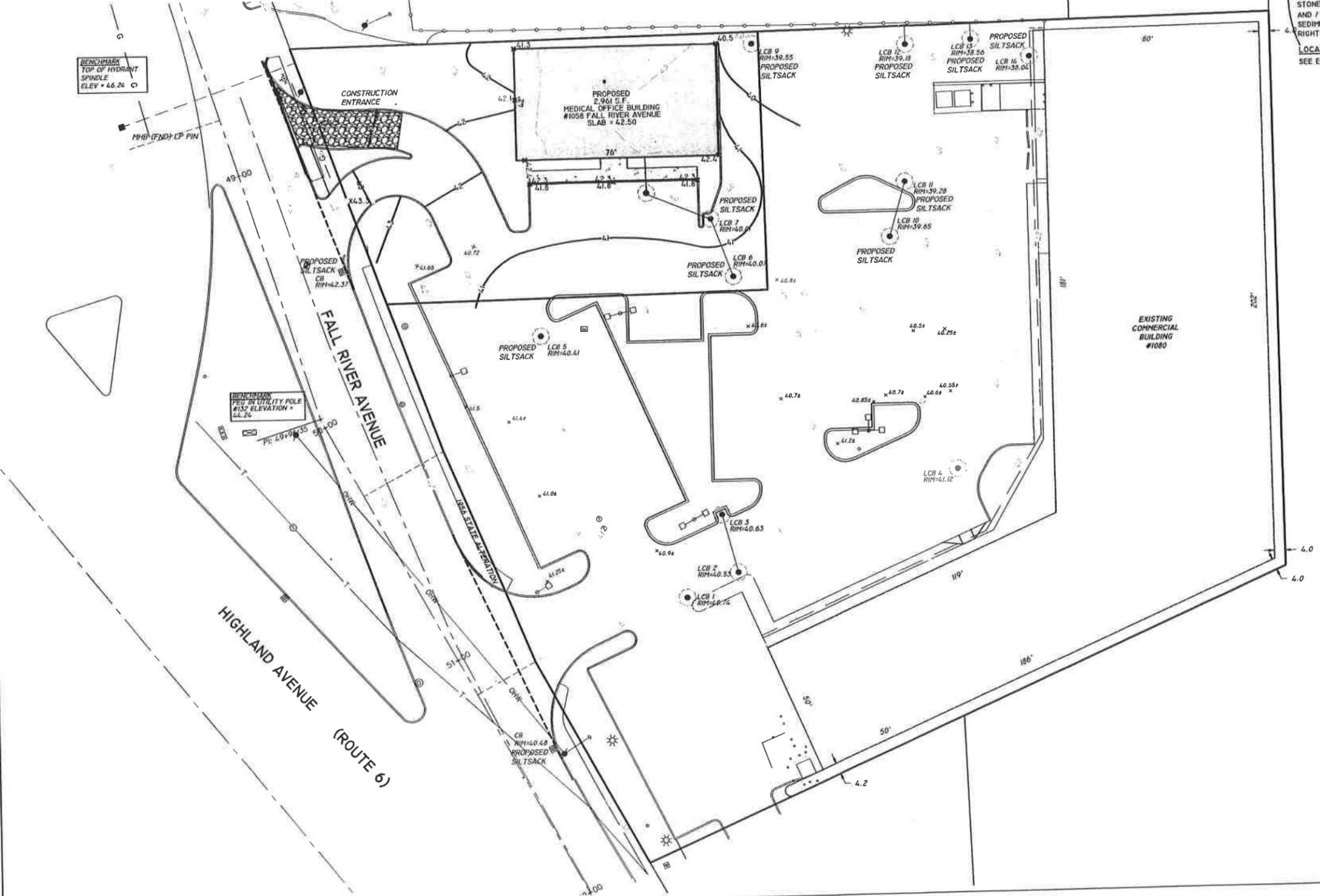
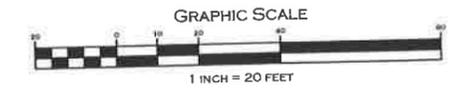
DRYWELLS WILL BE INSPECTED SEMI-ANNUALLY BY THE OWNER AND WILL BE MAINTAINED AS REQUIRED. THE DRYWELLS SHALL BE MONITORED FOR SEDIMENT BUILDUP AND SHALL BE CLEARED AS PART OF THE SEMI ANNUAL MAINTENANCE PROGRAM

ALL STORMWATER MANAGEMENT SYSTEMS MUST HAVE AN OPERATION AND MAINTENANCE PLAN TO ENSURE THAT SYSTEMS FUNCTION AS DESIGNED.

THE OWNER WILL BE RESPONSIBLE FOR THE OPERATION AND MAINTENANCE OF THE STORMWATER MANAGEMENT SYSTEM AND ALL OF ITS APPURTENANCES. THE FOLLOWING MAINTENANCE PROGRAM SHALL BE IMPLEMENTED:

A. DRYWELLS

1. INSPECT AFTER EVERY MAJOR STORM IN THE FIRST FEW MONTHS AFTER CONSTRUCTION TO ENSURE PROPER STABILIZATION AND FUNCTION. THEREAFTER, INSPECT ANNUALLY



EROSION AND SEDIMENT CONTROL PLAN



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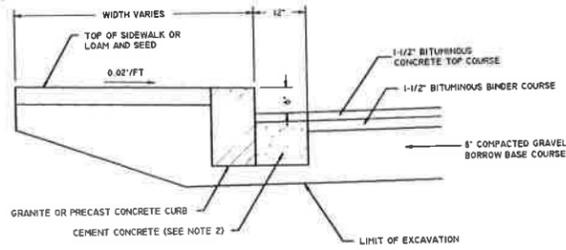
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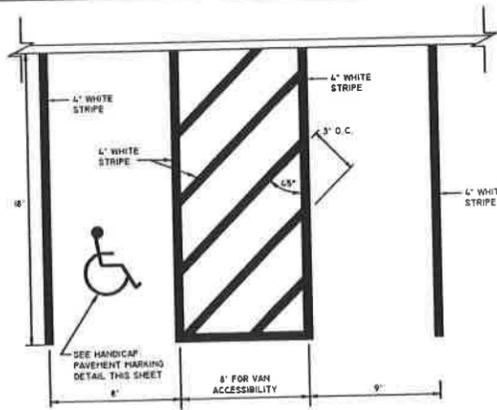
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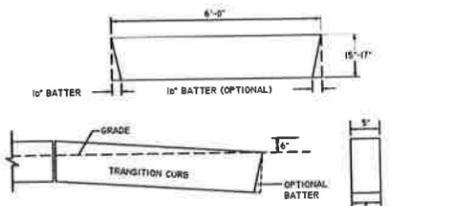
VERTICAL CURB

NOTES:
 1. SAW CUT 1/2" FROM CURB LINE AND REMOVE BINDER, BASE AND STONE, REPLACE WITH CEMENT CONCRETE.
 2. CEMENT CONCRETE THAT IS ACCEPTABLE TO THE DEPT. UNDER SECTION M4 OF THE 1995 STANDARD SPECIFICATIONS. ALL TEST REQUIREMENTS ARE WAIVED, BITUMINOUS CONCRETE IS NOT TO BE USED AS A SUBSTITUTE.
 3. USE CEMENT CONCRETE ONLY WHEN BITUMINOUS BINDER COURSE HAS BEEN PLACED BEFORE EITHER TYPE OF VERTICAL CURB HAS BEEN INSTALLED.

METHOD OF SETTING VERTICAL CURB
NOT TO SCALE

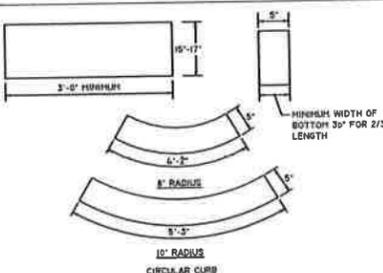


HANDICAP PARKING AND STANDARD STALLS
NOT TO SCALE



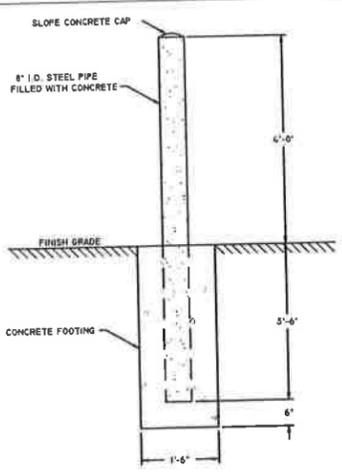
NOTES:
 1. TOP SURFACE TO BE DRESSED BY SAW OR TOOL.
 2. MINIMUM WIDTH OF BOTTOM 30" FOR 2/3 LENGTH

6' PRECAST TRANSITION CURB
NOT TO SCALE

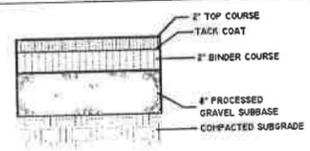


NOTES:
 1. MAXIMUM LENGTHS USING 8" & 10" RADII WITH 90° ANGLE, ARE 4'-2" AND 5'-3" RESPECTIVELY.
 2. MINIMUM LENGTH OF STRAIGHT OR CIRCULAR FILLER PIECES TO BE 3'-0".
 3. TOP SURFACE TO BE DRESSED BY SAW.
 4. CIRCULAR CURB IS REQUIRED ON CURVES WITH RADII OF 100' OR LESS. STRAIGHT CURB TO BE USED ON CURVES OF MORE THAN 100' RADII.

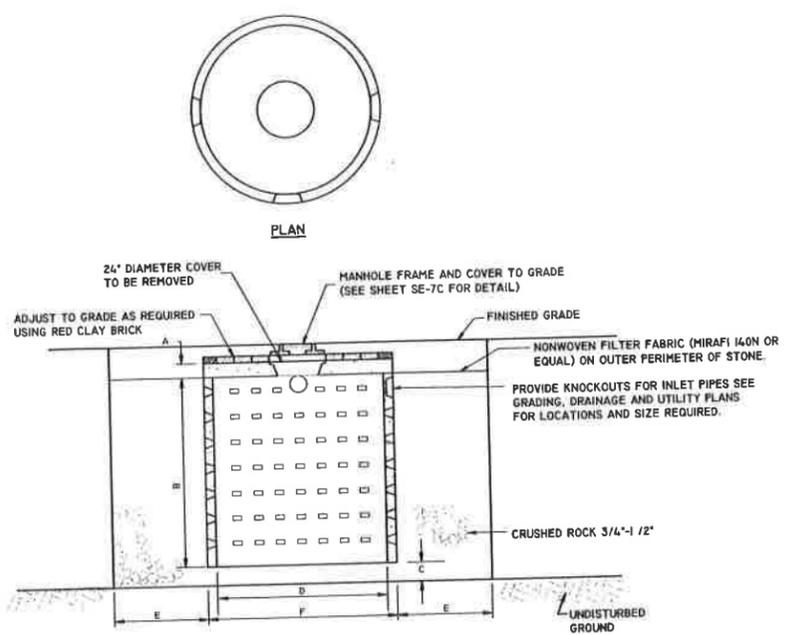
PRECAST CONCRETE CURB
NOT TO SCALE



CONCRETE FILLED BOLLARD DETAIL
NOT TO SCALE



BITUMINOUS CONCRETE PAVEMENT DETAIL
NOT TO SCALE

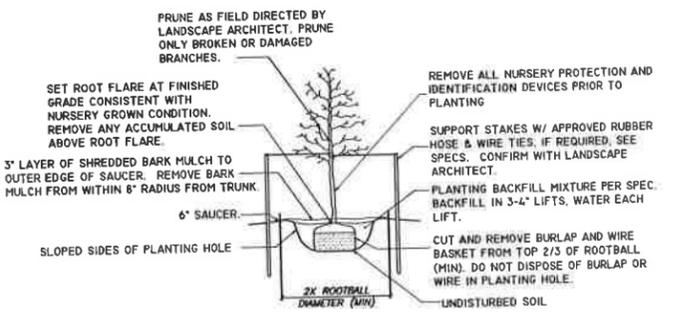


SECTION

NOTES:
 CONCRETE UNITS SHALL BE MANUFACTURED BY ROTONDO PRECAST, OR AN APPROVED EQUAL AND SHALL MEET THE FOLLOWING:
 CONCRETE MINIMUM STRENGTH - 5,000 P.S.I. @ 28 DAYS STEEL REINFORCEMENT - ASTM A-615 GR. 60, A-185, OR A-497, 1" MIN. COVER OR A-497, 1" MIN. COVER DESIGN LOADING - AASHTO HS20-44 EARTH COVER - 0 TO 5 FEET CONSTRUCTION JOINT - LAPPED

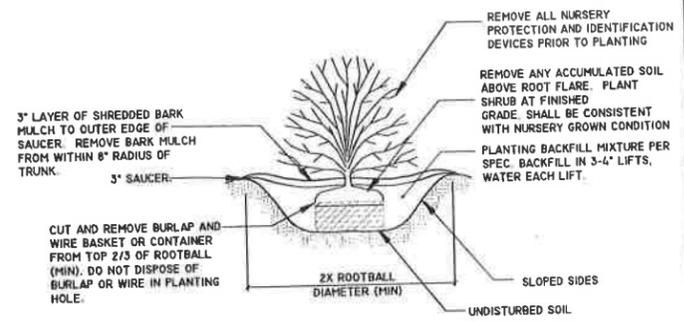
DRY WELL NUMBER	24" (FEET)	30" (FEET)	36" (FEET)	42" (FEET)	48" (FEET)	54" (FEET)
1	.5	8	25	4	1	6.66

PRECAST HEAVY DUTY DRY WELL DETAIL
NOT TO SCALE



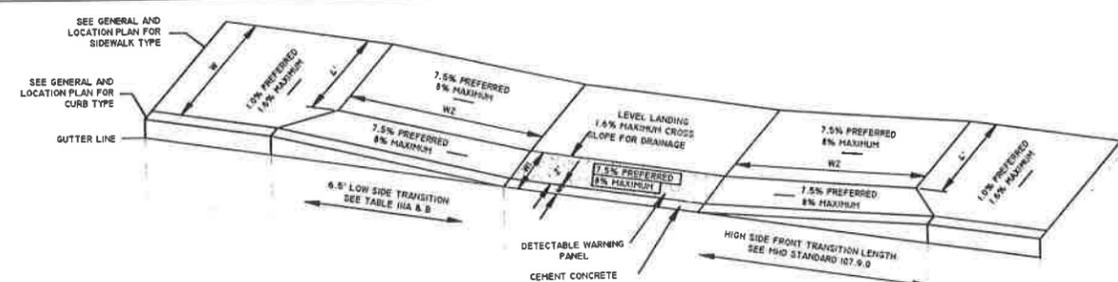
PRUNE AS FIELD DIRECTED BY LANDSCAPE ARCHITECT. PRUNE ONLY BROKEN OR DAMAGED BRANCHES.
 SET ROOT FLARE AT FINISHED GRADE CONSISTENT WITH NURSERY GROWN CONDITION. REMOVE ANY ACCUMULATED SOIL ABOVE ROOT FLARE.
 3" LAYER OF SHREDDED BARK MULCH TO OUTER EDGE OF SAUCER. REMOVE BARK MULCH FROM WITHIN 6" RADIUS OF TRUNK.
 SLOPED SIDES OF PLANTING HOLE
 REMOVE ALL NURSERY PROTECTION AND IDENTIFICATION DEVICES PRIOR TO PLANTING
 SUPPORT STAKES W/ APPROVED RUBBER HOSE & WIRE TIES. IF REQUIRED, SEE SPECS. CONFIRM WITH LANDSCAPE ARCHITECT.
 PLANTING BACKFILL MIXTURE PER SPEC. BACKFILL IN 3-4" LIFTS. WATER EACH LIFT.
 CUT AND REMOVE BURLAP AND WIRE BASKET FROM TOP 2/3 OF ROOTBALL (MIN). DO NOT DISPOSE OF BURLAP OR WIRE IN PLANTING HOLE.
 UNDISTURBED SOIL

TREE PLANTING DETAIL
NOT TO SCALE



REMOVE ALL NURSERY PROTECTION AND IDENTIFICATION DEVICES PRIOR TO PLANTING
 REMOVE ANY ACCUMULATED SOIL ABOVE ROOT FLARE. PLANT SHRUB AT FINISHED GRADE SHALL BE CONSISTENT WITH NURSERY GROWN CONDITION
 PLANTING BACKFILL MIXTURE PER SPEC. BACKFILL IN 3-4" LIFTS, WATER EACH LIFT.
 3" SAUCER
 2X ROOTBALL DIAMETER (MIN)
 SLOPED SIDES
 UNDISTURBED SOIL
 CUT AND REMOVE BURLAP AND WIRE BASKET OR CONTAINER FROM TOP 2/3 OF ROOTBALL (MIN). DO NOT DISPOSE OF BURLAP OR WIRE IN PLANTING HOLE.

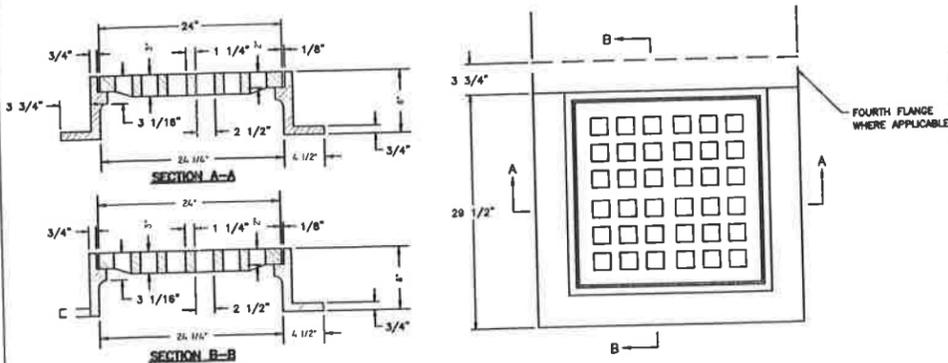
SHRUB PLANTING DETAIL
NOT TO SCALE



NOTE:
 1. WHERE THE SIDEWALK WIDTH IS 7.5' OR GREATER FOR BITUMINOUS CONCRETE AND 8.9' OR GREATER FOR CEMENT CONCRETE AND BRICK, THE BACK TRANSITION LENGTHS (L1, L2, L3) SHALL EQUAL ZERO (0). THEREFORE THE DIAGONAL SCORE LINE SHALL MEET THE BACK CORNERS OF THE WHEELCHAIR RAMP. IT SHOULD BE NOTED THAT THE RAMP SLOPE SHALL BE LESS THAN 11.0% FOR BITUMINOUS CONCRETE AND GREATER THAN 8.9' TO LESS THAN 11.0' FOR CEMENT CONCRETE AND BRICK.
 2. TRANSITION CURB SHALL BE PART OF THE HANDICAP RAMP WORK.

WHEELCHAIR RAMP DETAIL
NOT TO SCALE

LEGEND:
 W = SIDEWALK WIDTH
 W1 = PERPENDICULAR RAMP LENGTH
 W2 = PARALLEL RAMP LENGTH
 WC = CURB WIDTH



SQUARE CATCH BASIN FRAME & GRATE
(LF 24B -2 OR APPROVED EQUAL)
NOT TO SCALE

SITE DETAILS

"1058 & 1080 FALL RIVER AVE"
 FALL RIVER AVENUE, SEEKONK, MA
 ASSESSORS MAP 7 LOTS 15 & 16

PREPARED FOR: LEISER REALTY
 62 MOTT AVE, NEW LONDON, CT 06320

JOB # 15-032 SCALE: 1"=20' DRAWN BY: MSF DATE: MARCH 14, 2016

REVISED:

PROFESSIONAL SEAL

INSITE Engineering Services, LLC
 PROFESSIONAL ENGINEERS | LAND SURVEYORS
 Precision. Clarity. Certainty.

InSite Professional Complex, Suite 1
 1530 Fall River Avenue Seekonk, MA 02771
 Phone: (508) 338-4500 Fax: (508) 338-4558
 Web Address: InSiteEngineers.com

SHEET 8 OF 8

COPYRIGHT: INSITE ENGINEERING SERVICES



Planning Board
100 PECK STREET
SEEKONK, MASSACHUSETTS 02771
1-508-336-2961

MEMORANDUM

Date: April 12, 2016
To: Seekonk Planning Board
From: John J. Aubin III, Town Planner
Re: Request to modify covenant for Lot 1 Pine Hill Estates

Attached please find a request filed on behalf of the Najas, Realty, LLC to modify the Town's covenant on the above referenced lot to allow for construction activities. The covenant currently held by the Town as surety for public improvements related to the Pine Hill Estates Development contains a restriction on construction activities. Should the request be granted a covenant release will be executed together with a revised covenant and both documents recorded. The request was reviewed by the TRC on March 30, 2016 and as the request, if approved, would result in value being added to a property in which the Town has an interest and that the restriction on transfer of title would remain in place under a revised covenant, there was no objection by the Committee.

Thank you.



Planning Board
100 PECK STREET
SEEKONK, MASSACHUSETTS 02771
1-508-336-2961

MEMORANDUM

To: The Planning Board

From: John P. Hansen Jr., AICP, Town Planner

Date: May 6, 2014

Re: Pine Hill Estates – Partial Surety Release

The applicant for Pine Hill Estates has requested a partial covenant release for said subdivision. The original construction cost estimate has been reduced to \pm \$144 K based on the work that has been completed by the applicant and inspected and approved by the Board's inspector. The remaining work includes binder course of asphalt, top-course of asphalt application, street tree installation, and final site prep work.

The method of surety proposed by the developer is leaving covenant on lot 1. This office would recommend releasing the covenants on lot 2 & 3 in Pine Hill Estates.

InSite Engineering Services
Construction Cost Estimate

Page 1

29-Apr-14			INSITE ENGINEERING LLC			
Pine Hill Estates Construction Cost Estimate Worksheet (for use with Form J - Guaranty Price Estimate)						
		UNIT OF				
DESCRIPTION-ROADWAY	QUANTITY	MEASUREMENT	UNIT COST	TOTAL	Percent Completed	Total Remaining
SITE PREP						
Mobilization	1	LS	\$3,000	\$3,000	100	\$0.00
Erosion Control and Maintenance	1100	LF	\$10.00	\$11,000	100	\$0.00
Construction Entrance	1	EA	\$1,500	\$1,500	100	\$0.00
Stump Removal	50	EA	\$250	\$12,500	100	\$0.00
Dumpster	2	EA	\$500	\$1,000	100	\$0.00
Engineering Layout	1	LS	\$7,500	\$7,500	100	\$0.00
EXCAVATION						
SITE GRADING						
Strip Loam (in ROW)	280	CY	\$3.00	\$840	100	\$0.00
Strip Loam (In pond)	250	CY	\$3.00	\$750	100	\$0.00
Site Cut - Fill (cut at ROW)	1090	CY	\$5.50	\$5,995	100	\$0.00
Site Cut - Fill (cut at DRN. Pond)	1000	CY	\$5.50	\$5,500	100	\$0.00
Site Cut - Fill (cut at DRN. Swale)	10	CY	\$5.50	\$55	100	\$0.00
Site Cut - Fill (fill at ROW)	1400	CY	\$5.50	\$7,700	100	\$0.00
ASPHALT						
Asphalt - 3.5"	2210	SY	\$19.60	\$43,316	0	\$43,316.00
Gravel Base - 14"	810	CY	\$30	\$24,300	80	\$4,860.00
BCC	1150	LF	\$7	\$8,050	0	\$8,050.00
Sidewalk	0	LF	\$0.00	\$0	0	\$0.00
DRAINAGE						
3" - 6" Diam. Rip Rap	5	CY	\$20	\$100	100	\$0.00
6' Dia. DMH	1	EA	\$2,700	\$2,700	100	\$0.00
Catch Basin	3	EA	\$2,700	\$8,100	100	\$0.00
12" HDPE	405	LF	\$50	\$20,250	100	\$0.00
12" FES	2	EA	\$750	\$1,500	100	\$0.00
Stormceptor	1	EA	\$8,000	\$8,000	100	\$0.00
Pre-Acceptance CB/MH Cleaning	5	EA	\$200	\$1,000	0	\$1,000.00
WATER						
8" CLDI	650	LF	\$60	\$39,000	100	\$0.00
8" GV	3	EA	\$1,300	\$3,900	100	\$0.00
8" X 8" X 8" TEE	1	EA	\$1,600	\$1,600	100	\$0.00
8" BENDS	0	EA	\$425	\$0	100	\$0.00
6" X 8" Increaser	0	EA	\$450	\$0	100	\$0.00
1" Water Services	9	EA	\$500	\$4,500	100	\$0.00
Test and Chlorinate	0	LS	\$0	\$0	100	\$0.00
Hydrant Assembly	1	EA	\$3,500	\$3,500	100	\$0.00
UTILITIES						
Utility Trench and Backfill for Conduit	550	LF	\$6	\$3,300	0	\$3,300.00
Utility Trench Sand	650	CY	\$12	\$7,800	0	\$7,800.00
Electric Cost	550	LF	\$5	\$2,750	0	\$2,750.00
Warning Tape	12	EA	\$50	\$600	0	\$600.00
Alarm Box	1	EA	\$7,500	\$7,500	0	\$7,500.00

InSite Engineering Services
Construction Cost Estimate

Page 2

FINAL SITE PREP						
Trees	27	EA	\$450	\$12,150	0	\$12,150.00
Re-Spread Loam (Pond)	125	CY	\$3	\$375	100	\$0.00
Re-Spread Loam (ROW)	100	CY	\$3	\$300	0	\$300.00
Hydroseed - (ROW, pond)	1	DAY	\$1,500	\$1,500	50	\$750.00
Signs	2	EA	\$100	\$200	0	\$200.00
As-built	1	LS	\$10,000	\$10,000	0	\$10,000.00
Miscellaneous Work/Cleanup	1	LS	\$4,000	\$4,000	0	\$4,000.00
Street Monuments	11	EA	\$300	\$3,300	0	\$3,300.00
T.M. Acceptance	1	LS	\$3,000	\$3,000	0	\$3,000.00
INSPECTIONS						
Engineer	1	LS	\$12,000	\$12,000	80	\$2,400.00
Drainage Inspection	2	EA	\$1,500	\$3,000	50	\$1,500.00
TOTAL				\$298,931		\$116,776.00
10% Contigencies				\$29,893		\$11,678
Construction Management (10%)				\$29,893		\$11,678
Maintenance (2%)				\$5,979		\$2,336
SUBTOTAL				\$364,696		\$142,467
Inflation (6%)				\$21,882		\$8,548
TOTAL GUARANTY				\$370,674		\$144,802



Planning Board

100 PECK STREET
SEEKONK, MASSACHUSETTS 02771
1-508-336-2961

MEMORANDUM

Date: April 12, 2016

To: Seekonk Planning Board

From: John J. Aubin III, Town Planner

Re: Request to modify covenant for Lot 1 Orchard Estates

Attached please find a request filed on behalf of the Najas Realty, LLC to modify the Town's covenant on the above referenced lot to allow for construction activities. The covenant currently held by the Town as surety for public improvements related to the Orchard Estates Development contains a restriction on construction activities. Should the request be granted a covenant release will be executed together with a revised covenant and both documents recorded. The request was reviewed by the TRC on March 30, 2016 and as the request, if approved, would result in value being added to a property in which the Town has an interest and that the restriction on transfer of title would remain in place under a revised covenant, there was no objection by the Committee.

Thank you.



Planning Board
100 PECK STREET
SEEKONK, MASSACHUSETTS 02771
1-508-336-2961

MEMORANDUM

To: The Planning Board

From: John P. Hansen Jr., AICP, Town Planner

Date: August 27, 2013

Re: Orchard Estates – Partial Covenant Release

The applicant for Orchard Estates has requested a partial covenant release for said subdivision. The original construction cost estimate of \pm \$260K has been reduced to \pm \$60K based on the work that has been completed by the applicant and inspected and approved by the Board's inspector, GPI. The remaining work includes top-course of asphalt application, street tree installation, and final site prep work.

The method of surety proposed by the developer is to keep a covenant on lot 1 and release the covenant from lots 7 & 8. Based on the average purchase price of other subdivision lots this year in town at \$142K, a covenant for 1 lot appears to be adequate to cover the remaining construction costs. This office would recommend releasing the covenants on lots 7 & 8 in Orchard Estates.

20-Jun-12

Greenman-Pedersen, Inc.

Orchard Estates Construction Cost Estimate Worksheet (for use with Form J - Guaranty Price Estimate)
 Items in RED show differences from estimate submitted by Insite Engineering

DESCRIPTION-ROADWAY	QUANTITY	UNIT OF MEASUREMENT	UNIT COST	TOTAL	GPI Note
SITE PREP					
Mobilization	1	LS	\$3,000	\$3,000	Included item under MOBILIZATION, LAYOUT, MISC. in Form J
Erosion Control and Maintenance	1320	LF	\$10.00	\$13,200	
Construction Entrance	1	EA	\$1,500	\$1,500	Included item under MOBILIZATION, LAYOUT, MISC. in Form J
Stump Removal	10	EA	\$250	\$2,500	Included item under MOBILIZATION, LAYOUT, MISC. in Form J
Dumpster	2	EA	\$500	\$1,000	Included item under MOBILIZATION, LAYOUT, MISC. in Form J
Engineering Layout	1	LS	\$4,000	\$4,000	
				\$25,200	
EXCAVATION					
SITE GRADING					
Strip Loam (in ROW)	530	CY	\$3.00	\$1,590	Included item under PREGRAVEL SUBGRADE in Form J
Strip Loam (in ponds and swales)	150	CY	\$3.00	\$450	Included item under PREGRAVEL SUBGRADE in Form J
Site Cut - Fill (cut at ROW)	350	CY	\$5.50	\$1,925	Included item under PREGRAVEL SUBGRADE in Form J
Site Cut - Fill (cut at DRN. Pond)	385	CY	\$5.50	\$2,118	Included item under PREGRAVEL SUBGRADE in Form J
Site Cut - Fill (cut at DRN. Swale)	10	CY	\$5.50	\$55	Included item under PREGRAVEL SUBGRADE in Form J
Site Cut - Fill (fill at ROW)	170	CY	\$5.50	\$935	Included item under PREGRAVEL SUBGRADE in Form J
				\$7,073	
ASPHALT					
Asphalt - 3.5"	1600	SY	\$19.60	\$31,360	\$100/ton per latest MassDOT unit prices.
Gravel Base - 14"	680	CY	\$30	\$20,400	\$30/CY per latest MassDOT unit prices. Insite quantity appears to be high.
BCC	1030	LF	\$7	\$7,210	
Sidewalk	0	LF	\$0.00	\$0	Cost included in Asphalt and Gravel Base, above.
				\$58,970	
DRAINAGE					
3" - 6" Diam. Rip Rap	5	CY	\$20	\$100	
6" Dia. DMH	1	EA	\$2,700	\$2,700	\$2,200 per DMH + \$500 for F&C
Catch Basin	2	EA	\$2,700	\$5,400	\$2,200 per CB + \$500 for F&G
15" HDPE	48	LF	\$50	\$2,400	\$50/ft for 15-inch HDPE pipe per MassDOT unit prices.
18" HDPE	213	LF	\$60	\$12,780	\$60/ft for 18-inch HDPE pipe per MassDOT unit prices.
18" FES	1	EA	\$750	\$750	
6' Chainlink Fence	420	LF	\$22	\$9,240	\$22/ft for 6' CLF per MassDOT unit prices.
Stormceptor	1	EA	\$8,000	\$8,000	
Pre-Acceptance CB/MH Cleaning	4	EA	\$200	\$800	
				\$42,170	



BRAINSKY LEVINSON, LLC
ATTORNEYS AND COUNSELORS AT LAW

Eric S. Brainsky*
Michael E. Levinson*
Michael F. Ferragamo+

Lisa Krupa
Paralegal/Office Manager

Jennifer Andrews
Paralegal

* Admitted to Practice in RI & MA State
and Federal District Courts, The 1st
Circuit Court of Appeals, and The
United States Supreme Court

+Admitted to Practice in RI & MA State
Courts & RI Federal District Court

March 24, 2016

John J. Aubin, III, Town Planner
100 Peck Street
Seekonk, MA 02771

**Re: Request for Modification of Two Covenants;
Lot 1 Pine Hill Estates;
Lot 1 Orchard Estates**

Dear Mr. Aubin:

Please consider this a request on behalf of the Developer, Najas Realty, LLC to modify the existing covenants for lot 1 on both the Pine Hill and Orchard Estates Subdivision Projects to permit the Developer to construct a single family home on each lot but not to transfer those lots until the Covenants are released.

Will you kindly set that down on the Planning Boards next available agenda for consideration. Thank you for your kind attention to this matter.

Very truly yours,

Eric S. Brainsky

ESB/klf
CC: Client



Planning Board
100 PECK STREET
SEEKONK, MASSACHUSETTS 02771
1-508-336-2961

MEMORANDUM

Date: April 12, 2016

To: Seekonk Planning Board

From: John J. Aubin III, Town Planner

Re: Request to re-designate one affordable development lot in the Country Brook Estates residential development

Attached please find a request by Costa Development, LLC to remove the affordable designation from lot 18 within the Country Brook Estates residential development and designate lot 1 as the second affordable unit in the development. The proposed substitution does not appear to negatively impact the compliance of the development with the provisions of **Section 9.2.15 Density Bonus Option**.

Thank you.

COSTA DEVELOPMENT LLC
950 Taunton Avenue
Seekonk, MA 02771

March 29, 2016

Mr. John Aubin III
Seekonk Planner
Seekonk Town Hall
100 Peck Street
Seekonk, MA 02771

Mr. Aubin,

Subject: Affordable Lots in Country Brook Estates

Country Brook currently has two designated affordable lots—Lot 15 and Lot 18.

I would like to designate Lot 1 to be an affordable lot instead of Lot 18.

Sincerely,

A handwritten signature in black ink, appearing to read "Michael Costa", written in a cursive style.

Michael Costa

CONTRACT

March 12, 2016

Michael Costa
Country Brook Estates
Seekonk, Ma

**RE: COUNTRY BROOK ESTATES
LOCAL ACTION UNITS ONLY APPLICATION**

Dear Michael,

As you are aware the permit for the Country Brook Estates development was approved for 18 single family homes in accordance with the Town's Inclusionary Zoning by law which requires 10% (2) of the units to be designated as affordable. The Town requires all of the affordable units are to be added to the states subsidized affordable housing inventory list ("SHI").

This agreement is a contract to have 2 homes designated as "Affordable" which are to be sold in accordance with the Department of Housing and Community Development ("DHCD") rules and regulations for inclusion on the SHI.

This letter constitutes a contractual agreement between Mr. Michael Costa (the "developer) and Delphic Associates LLC ("Delphic") for consulting services pertaining to the development of an affordable housing complex known as Country Brook Estates, in the Town of Seekonk, Ma.

The developer has received a Permit from the Seekonk Planning Board to develop a development consisting of 18 single family homes known as Country Brook Estates. The development is to include 2 homes designated as affordable in accordance with DHCD'S Local Initiative Program – Local Action Units Only Program ("LIP-LAU").

Delphic shall prepare a Department of Housing and Community Development ("DHCD") Local Action Units Only Application ("LAU") in accordance with DHCD's Local Initiative Program ("LIP"). The application will require the endorsement of the Board of Selectman and the Developer. Delphic will attend all meetings with the Board of Selectman, Zoning Board of Appeals and other Boards as necessary.

DELPHIC agrees to provide the following services to the developer for the development:

PHASE I: LOCAL ACTION UNITS ONLY APPROVAL

Delphic will seek approval for the development under DHCD's Local Action Units Only ("LAU") process in accordance with DHCD's Local Initiative Program ("LIP"). This program best meets the real estate objectives of the developer.

- Delphic will prepare and submit one original and one copy of the application for a endorsement by the Board of Selectman in accordance with the "LIP" program requirements. If more than 2 copies of the application are necessary, Delphic shall prepare at a cost to the developer of \$30 per copy. The filing fee, if any to the Board of Selectman shall be the responsibility of the developer.
- Upon the issuance of the executed "LIP" application by the Board of Selectman, Delphic will prepare and submit one original and one copy of the endorsed application for approval by DHCD in accordance to the program requirement.

FEE STRUCTURE FOR DEVELOPMENT SERVICE PHASES I

Delphic will be paid a consultant fee of \$ 7,500 for services rendered in Phases I. Payment shall be as follows:

▪ Signing of contract.	\$ 1,500
▪ Submission of "LIP" application to Select Board.	\$ 1,500
▪ Upon receipt of executed application from Select Board.	\$ 2,500
▪ Upon approval of the application by DHCD.	\$ 2,000
TOTAL	\$ 7,500

**PHASE II: AFFIRMATIVE FAIR HOUSING MARKETING PROGRAM
LOTTERY MARKETING PLAN**

The lottery and affirmative fair housing issues for the units identified for the affordable buyers in accordance with DHCD Rules and Regulations.

PHASE II A

- Prepare and implement a Fair Housing Marketing & Outreach Plan the "marketing plan", which meets the affirmative fair housing objectives of DHCD, Ch. 40B; and the Monitoring Agent (if applicable).
- Preparing the Lottery Package which will include information on frequently asked questions, the application and deed rider summary.
- Obtaining required approvals of the marketing plan and lottery package;
- Determining the sales prices of the affordable units;
- Determining with local officials the type of Local Preference (if any) to be used in the Lottery in accordance with 760 CMR 56.00.

PHASE II B

- Determining the appropriate media for advertising and minority outreach to attract the greatest number of applicants.
- Make available the Lottery Package including the FAQ and the application on the Delphic Associates Mass Affordable Homes, Mass Access, Citizens Housing and Planning Association (CHAPA) web sites.
- Approval of advertising budget from the developer.
- Responsible for placements of all advertising. Developer is responsible to make financial arrangements for payment with media sources for advertising cost, Delphic will place the ads on behalf of the developer.
- Conducting a workshop for interested lottery participants.
- Assist applicants in securing pre-approval letters from financial institutions.
- Review all applications, for completeness, including but not limited to 3 years tax returns with W2, 5 most recent paystubs, 3 months checking and savings statements, most recently quarterly statements for 401 K, pensions etc., pre-approval financing letter and a work history narrative.
- Classifying all lottery applicants by category to include preference for Local, Minority and At-Large.
- Notifying each applicant of their application coding for the lottery.
- Conduct the actual Lottery.

PHASE II C

POST LOTTERY

- Preparing the Purchase and Sale Agreement and obtain all signatures.
- Assisting buyer in obtaining a financing commitment;
- Assisting the developer in the preparation of Condominium Questionnaires
- Assisting the developer in the preparation and or review of Condominium Budgets and Documents
- Determining or review the beneficial interest schedules for affordable units.
- Submittal of buyers financing commitment to the Monitoring Agent for Buyer Approval; (Local Initiative Program only)
- Co-ordinate with buyer and builder the buyers color selections, if available.
- Coordinating all of the above with the developer regarding the availability for occupying of the Affordable unit.
- Accompanying the buyer on all site visits.
- Accompanying buyer with seller's representative on Final Inspection;
- Coordinate closing with buyer, seller, in addition the lender, buyer and seller's counsel;
- Delphic will attend the closing.

DEVELOPER RESPONSIBILITIES

- Developer shall provide building specifications, floor plans, elevations and site plans.
- Developer shall be responsibility for payment of all advertising
- If the development is a single family development with a homeowners' association, the developer shall provide the Homeowners' Association Documents with a budget and the assessment amount to each home owner.
- The Consultant will submit to the Developer a proposed Purchase and Sale form (P&S) that it has used in the past. It is the responsibility of the developer to

amend the P&S and submit the final form or in the alternative to provide Delphic with the P&S form it prefers to use.

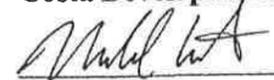
FEE STRUCTURE FOR MARKETING OF AFFORDABLE HOMES

Delphic will be paid a fee of 5% for Lottery Services to be paid at time of closing of the affordable home.

DELPHIC ASSOCIATES, LLC

Paul E. Cusson,
Managing Member

Costa Development, LLC



Michael Costa
Managing Member

COMMONWEALTH OF MASSACHUSETTS

Bristol, _____, 2016

On this _____ day of _____, 2016 before me, the undersigned notary public, personally appeared, PAUL E. CUSSON, Managing Member of DELPHIC ASSOCIATES, LLC, proved to me through satisfactory evidence of identification, which was Massachusetts Driver's License, to be the person whose name is signed on the preceding or attached document, and acknowledged to me that he signed it voluntarily for its stated purpose.

Notary Public
My Commission expires: _____

COMMONWEALTH OF MASSACHUSETTS

County of _____, 2016

On this _____ day of _____, 2016 before me, the undersigned notary public, personally appeared, _____, proved to me through satisfactory evidence of identification, which was Massachusetts Driver's License, to be the person whose name is signed on the preceding or attached document, and acknowledged to me that he signed it voluntarily for its stated purpose.

Notary Public
My Commission expires: _____



Planning Board
100 PECK STREET
SEEKONK, MASSACHUSETTS 02771
1-508-336-2961

MEMORANDUM

Date: April 12, 2016

To: Seekonk Planning Board

From: John J. Aubin III, Town Planner

Re: March 24, 2016 Seekonk Board of Selectmen request for recommendation on Order to Layout: Betty's Way, Tall Pines Drive, and Jane Howland Place as proposed public streets.

Attached please find a memo and supporting documentation from the Board of Selectmen regarding an Order to Layout Roads authorized by the Board of Selectmen on March 23, 2016 requesting a recommendation for consideration of the proposed roadways for acceptance at a public hearing and ultimately the May 16 2016 Town Meeting. The order pertains to the following three streets:

1. **Betty's Way**, Girard Estates, located off Elm Street
2. **Tall Pines Lane**, Tall Pines, located off Brook Street
3. **Jane Howland Place**, Jane Howland Estates Phase E, located off Jane Howland Drive and Warren Avenue.

The proposed roadways have been reviewed by the TRC and no issues have been identified with regard to existing conditions, public access or safety that would preclude acceptance of the roads as public streets by Town Meeting. With regard to Tall Pines Drive, it is suggested that the Planning Board recommend a condition that no documents transferring formal title to the Town of Seekonk be recorded until documentation of inspection of the bridge comprising a portion of the roadway in accordance with the requirements of MassDOT has been submitted to the Planning Board and Department of Public Works.

Thank you.

Memorandum

To: John J. Aubin, III, Town Planner
From: Christina Testa
Date: March 24, 2016
Re: Order to Layout Roads

At their meeting of March 23, 2016, the Board of Selectmen voted unanimously to refer the request to layout the following roads to the Planning Board for a recommendation to be included in a public hearing for possible street acceptance at Spring Town Meeting to be held May 16, 2016.

- **Betty's Way** as shown on a Plan of Land entitled "Girard Estates Layout Plan Definitive Subdivision Assessors Map 15 Lot 83 Seekonk Massachusetts" recorded with Bristol County Northern District Registry of Deeds in Plan Book 456, Page 32, which plan was approved by the Planning Board of the Town of Seekonk on January 9, 2007 and revised September 19, 2007 and recorded with the Bristol County Northern District Registry of Deeds in Plan Book 467 Page 50-51.
- **Tall Pines Lane** as shown on the Plan of Land entitled "Definitive Subdivision Plan of Land of "Tall Pines" in Seekonk, Massachusetts Prepared for Stone Gate Builders, Inc." dated December 1, 2010, as revised, and recorded at the Bristol County (N.D.) Registry of Deeds in Plan Book 485, Pages 79 & 80.
- **Jane Howland Place** as shown on definitive map entitled "Definitive Subdivision, Jane Howland Estates Phase E, Seekonk, Massachusetts, prepared for Mark Dorman and Roy LaCroix, D.B.A. Howland Associates, Inc., by Caputo and Wick, Ltd., dated July 27, 1995" recorded in the Bristol County Northern District Registry of Deeds in Book 349, Page 75.



TOWN OF SEEKONK PLANNING BOARD

100 PECK STREET, SEEKONK, MA 02771
1-508-336-2961

STREET ACCEPTANCE FORM

Date: 2/16/16 Plat No. 15 Lot No. 83
Applicant Name GRAND ESTATES LLC Phone No. 508 821 3500
Address 32 Campbell St Pawtucket RI 02861
Subdivision Name: GRAND ESTATES Street Name/s: Betty's Way

Per Section 6.8.1 of the *Rules and Regulations Governing the Subdivision of Land in Seekonk, MA*, the applicant may submit in writing to the Board of Selectmen, a formal request for Town Acceptance of the bonded or otherwise secured streets or land to be dedicated. Once the Town accepts said streets or lands, the Planning Board shall release the resultant security amount.

The following are required in addition to this Street Acceptance Form to initiate the process of Street Acceptance:

Letter Requesting Street Acceptance- A letter is submitted by the Applicant stating that all work and all required inspections have been completed requesting that the road be accepted at the next Town Meeting.

Warranty Deed -- The applicant supplies the Town with a deed conveying the land to the Town of Seekonk for highway purposes.

As built Plans submitted 2/1/2015

David A. Marcelino



Attorney at Law

dam7171@gmail.com
(508) 821-3500 F:(508) 821-9099
685 Glebe Street Taunton, MA 02780

March 8, 2016

Board of Selectmen
Town of Seekonk
100 Peck Street
Seekonk, MA 02771

Re: Girard Estates Subdivision

Dear Members of the Board:

I am legal counsel for Girard Estates L.L.C. Enclosed are the following documents required for final acceptance by the Town of Seekonk of Betty's Way, the road that serves the Girard Estates Subdivision:

1. Street Acceptance Form;
2. Letter to Planning Board concerning completion of work;
3. Proposed Warranty Deed; and,
4. As Built Plans were submitted to the Planning Board on February 1, 2015

On behalf of Girard Estates, LLC, I respectfully request that final approval for the Girard Estates Subdivision and that the Town of Seekonk accept Betty's Way as a Town road be placed on the May 2016 Warrant.

Yours truly,

David A. Marcelino

DEED

Girard Estates, L.L.C., of 32 Campbell Street, Pawtucket, RI 02861, in consideration of \$1 (One Dollars) paid grant(s) with QUITCLAIM COVENANTS to the Town of Seekonk, Bristol County, Massachusetts, the following described premises:

the right of way containing 55,350 square feet more or less situated in Seekonk, Bristol County, Massachusetts, on the westerly side of Elm Street and shown as Betty's Way on a plan of land entitled "Girard Estates Layout Plan Definitive Subdivision Assessors Map 15 Lot 83 Seekonk Massachusetts" which plan is recorded with Bristol County Northern District Registry of Deeds in Plan Book 456, Page 32, which plan was approved by the Planning Board of the Town of Seekonk on January 9, 2007 and revised September 19, 2007 and recorded with the Bristol County Northern District Registry of Deeds in Plan Book 467 Page 50-51 (hereinafter collectively referred to as "the Plan").

See also the drainage easement plan approved by the Planning Board of the Town of Seekonk shown on the plan of land entitled "MA DEP Title 5 Demonstration Plan Betty's Way at Girard Estates Seekonk, MA prepared for Girard Estates, LLC by Arthur F. Borden & Associates, Inc.," on October 7, 2009 and recorded in the Bristol County Northern District Registry of Deeds Book 474 Page 40 on December 10, 2009.

See also the drainage easement plan approved by the Planning Board of the Town of Seekonk shown on the plan of land entitled "Easement Plan of Land of Girard Estates in Seekonk, MA prepared for Girard Estates, LLC by Arthur F. Borden & Associates, Inc.," Scale 1" = 40' on March 10, 2010 recorded in the Bristol County Northern District Registry of Deeds Book 475 Page 76 on April 21, 2010.

Subject to:

1. Declaration of Trust Establishing Girard Estates Common Septic System Trust dated October 5, 2007 and recorded in the Bristol County Northern District Registry of Deeds Book 17601 Page 156.
2. Grant of Title 5 Covenant and Easement dated October 5, 2007 and recorded in the Bristol County Northern District Registry of Deeds Book 17736 Page 192.
3. Easement for Electric Service recorded in the Bristol County Northern District Registry of Deeds Book 17228 Page 28.
4. Easement for Telephone Service recorded in the Bristol County Northern District Registry of Deeds Book 17252 Page 168.
5. Girard Estates Residential Compound First Amended Declaration of Easements and Restrictions dated March 23, 2010 and recorded in the Bristol County Northern District Registry of Deeds Book 18709 Page 33.

6. Drainage Easement dated March 23, 2010 and recorded in the Bristol County Northern District Registry of Deeds Book 18709 Page 31 and shown on the above referenced plan of land entitled "Easement Plan of Land of Girard Estates in Seekonk, MA prepared for Girard Estates, LLC by Arthur F. Borden & Associates, Inc.," Scale 1" = 40' on March 10, 2010.

PROPERTY ADDRESS: Betty's Way, Seekonk, Massachusetts

Being the same premises conveyed to this grantor by deed of Conrad E. Girard and Elizabeth A. Girard dated 06/11/2007 and recorded in the Bristol County Northern District Registry of Deeds Book 16853 Page 179.

See also deed of Carol C. Sturtevant to Conrad E. Girard and Elizabeth A. Girard dated 12/02/2003, and recorded in the Bristol County Northern District Registry of Deeds Book 13092 Page 44.

This sale does not comprise a sale of all or substantially all of the assets of the Grantor Limited Liability Company.

Executed under seal this _____ day of _____ 2016.

By Girard Estates, L.L.C.

Conrad E. Girard, Manager

COMMONWEALTH OF MASSACHUSETTS
County of Bristol, ss.

On this _____ day of _____ 2016, before me, the undersigned notary public, personally appeared Conrad E. Girard, Manager, Girard Estates, LLC, and proved to me through satisfactory evidence of identification, which was personal knowledge, to be the person(s) whose name(s) is/are signed on the preceding or attached document, and acknowledged to me that he/she/they signed it voluntarily for its stated purpose.

David A. Marcelino, Notary Public
My Commission Expires: October 28, 2016



TOWN OF SEEKONK

PLANNING BOARD

100 PECK STREET, SEEKONK, MA 02771
1-508-336-2961

STREET ACCEPTANCE FORM

Date: March 9, 2016 Plat No. 25 Lot No. 3

Applicant Name Stonegate Builders, Inc. Phone No. 508-965-4906

Address 12 Tall Pines Lane, Seekonk, MA 02771

Subdivision Name: Tall Pines Street Name/s: Tall Pines Lane

Per Section 6.8.1 of the *Rules and Regulations Governing the Subdivision of Land in Seekonk, MA*, the applicant may submit in writing to the Board of Selectmen, a formal request for Town Acceptance of the bonded or otherwise secured streets or land to be dedicated. Once the Town accepts said streets or lands, the Planning Board shall release the resultant security amount.

The following are required in addition to this Street Acceptance Form to initiate the process of Street Acceptance:

Letter Requesting Street Acceptance- A letter is submitted by the Applicant stating that all work and all required inspections have been completed requesting that the road be accepted at the next Town Meeting.

Warranty Deed — The applicant supplies the Town with a deed conveying the land to the Town of Seekonk for highway purposes.

As built Plans

SITEC

Civil and Environmental Engineering
Land Use Planning

449 Faunce Corner Road
Dartmouth, MA 02747
Tel. (508) 998-2125
Fax (508) 998-7554

769 Plain Street, Unit C
Marshfield, MA 02050
Tel. (781) 319-0100
Fax (781) 834-4783

March 9, 2016

Seekonk Board of Selectmen
100 Peck Street
Seekonk, MA 02771

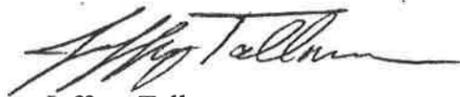
Subject: Tall Pines Lane

Dear Board Members,

As shown on the attached Roadway As-Built Plan all the work required to construct the subject roadway has been completed. In addition, all the inspections required during and after the construction of the road have been performed. Therefore, on behalf of Stone Gate Builders, Inc., I am writing to request that Tall Pines Lane be formally accepted by the Town of Seekonk at the Town Meeting on May 16, 2016.

Thank you for considering this request.

Sincerely,
For SITEC, Inc.



Jeffrey Tallman
Project Engineer

cc. Steve Dippolito - Stone Gate Builders, Inc.

WARRANTY DEED

STONE GATE BUILDERS, INC., a Massachusetts Corporation with a principal office located at 118 Warren Avenue, Seekonk, Massachusetts 02771

for consideration paid, and in full consideration of One Dollar (\$1.00)

grants to THE TOWN OF SEEKONK, a municipal corporation having an address of 100 Peck Street, Seekonk, Massachusetts 02771

with WARRANTY COVENANTS

the land, situated in Seekonk, Bristol County, Massachusetts, more particularly bounded and described as follows:

The premises shown and delineated as "TALL PINES LANE", as shown on the plan entitled: "Definitive Subdivision Plan of Land of "Tall Pines" in Seekonk, Massachusetts Prepared for Stone Gate Builders, Inc." dated December 1, 2010, as revised, and recorded at the Bristol County (N.D.) Registry of Deeds in Plan Book 485, Pages 79 and 80.

Said premises are more particularly described in EXHIBIT A Legal Description attached hereto and made a part hereof.

Property Address: Tall Pines Lane, Seekonk, Massachusetts 02771.

The Grantor herein hereby certifies that this conveyance does not constitute a sale of all or substantially all of the assets of the Grantor located within the Commonwealth of Massachusetts.

Being a portion of the premises described in a deed to the Grantor herein deed dated August 3, 2004, and recorded at the Bristol County (N.D.) Registry of Deeds in Book 13951, Page 178.

IN WITNESS WHEREOF, the said STONE GATE BUILDERS, INC. has caused its corporate seal to be hereto affixed and these presents to be signed, acknowledged, and delivered in its name and behalf by Steven Dippolito, its President and David Rodgers, its Treasurer this _____ day of _____, 2016.

STONE GATE BUILDERS, INC.

Witness

By: Steven Dippolito, President

Witness

By: David Rodgers, Treasurer

THE COMMONWEALTH OF MASSACHUSETTS

BRISTOL, ss.

_____, 2016

Then personally appeared the above-named Steven Dippolito, President and David Rodgers, Treasurer of STONE GATE BUILDERS, INC., who proved to me through satisfactory evidence of identification which was _____ to be the persons whose names are signed on this document, and acknowledged to me that said instrument was signed and sealed on behalf of said corporation and that they signed it voluntarily for its stated purpose before me,

Notary Public
My commission expires:

MASSACHUSETTS

Statutory form of

WARRANTY DEED

STONE GATE BUILDERS, INC.

to

THE TOWN OF SEEKONK

.....2016...
at.....o'clock and..... minutes...m
Received and entered with.....
.....Deeds
Book.....Page.....

Attest:

.....

From the Office of:

SULLIVAN, WILLIAMS & QUINTIN
651 Orchard Street, Suite 200
New Bedford, MA 02744
Tel No. (508) 992-7911
Fax No. (508) 991-8687

Exhibit A

Beginning at a point N 69°59'06" W a distance of 136.71' from the southwest corner of Brook Street and Newman Avenue ;

thence N 69°59'06" W a distance of 84.47';

thence with a curve turning to the right with an arc length of 24.88' and a radius of 20.00',

thence S 01°17'55" W a distance of 42.77';

thence with a curve turning to the left with an arc length of 38.53' and a radius of 270.00',

thence S 06°52'39" E a distance of 61.16';

thence with a curve turning to the right with an arc length of 198.73' and a radius of 230.00',

thence S 42°37'39" W a distance of 234.18';

thence with a curve turning to the left with an arc length of 86.62' and a radius of 270.00',

thence S 24°14'43" W a distance of 95.97';

thence with a curve turning to the right with an arc length of 21.29' and a radius of 20.00',

thence with a curve turning to the left with an arc length of 329.43' and a radius of 62.50',

thence with a curve turning to the right with an arc length of 21.29' and a radius of 20.00',

thence N 24°14'43" E a distance of 95.97';

thence with a curve turning to the right with an arc length of 73.79' and a radius of 230.00',

thence N 42°37'39" E a distance of 234.18';

thence with a curve turning to the left with an arc length of 233.29' and a radius of 270.00',

thence N 06°52'39" W a distance of 61.16';

thence with a curve turning to the right with an arc length of 32.82' and a radius of 230.00',

thence N 01°17'55" E a distance of 15.67';

thence with a curve turning to the right with an arc length of 37.95' and a radius of 20.00'

which is the point of beginning.

Having an area of 43,913 square feet (1.008 acres).



TOWN OF SEEKONK PLANNING BOARD

100 PECK STREET, SEEKONK, MA 02771
1-508-336-2961

STREET ACCEPTANCE FORM

Date: 11 Feb 2016 Plat No. 1 Lot No. 228, 244, 245, 246, 247, 248
Applicant Name Todd Mello
Mark Dorman & Roy LaCroix Phone No. 508-567-0000
D/B/A Howland Associates, INC.
Address 30 Keegan Court

Subdivision Name: Jane Howland Estates Street Name/s: Jane Howland Place
Phase E

Per Section 6.8.1 of the *Rules and Regulations Governing the Subdivision of Land in Seekonk, MA*, the applicant may submit in writing to the Board of Selectmen, a formal request for Town Acceptance of the bonded or otherwise secured streets or land to be dedicated. Once the Town accepts said streets or lands, the Planning Board shall release the resultant security amount.

The following are required in addition to this Street Acceptance Form to initiate the process of Street Acceptance:

- Letter Requesting Street Acceptance- A letter is submitted by the Applicant stating that all work and all required inspections have been completed requesting that the road be accepted at the next Town Meeting.
- Warranty Deed – The applicant supplies the Town with a deed conveying the land to the Town of Seekonk for highway purposes.
- As built Plans

Board of Selectmen

RE: Jane Howland Place
Street Acceptance

To Whom It May Concern:

Please be advised that all work and all required inspections have been completed. Please accept the road and application at the next Town meeting. Should you have any questions or need additional information, please feel free to contact me.

Thank you,

A handwritten signature in black ink, appearing to read "Todd Mello", written over a horizontal line.

Todd Mello
508-567-0000

Exhibit A Legal Description

Mark Dorman and Roy LaCroix
D.B.A. Howland Associates, Inc.

to
Town of Seekonk

Jane Howland Place

That certain tract or parcel of land situated southeasterly from the southeasterly terminus of Jane Howland Place in the Town of Seekonk, County of Bristol, Commonwealth of Massachusetts being designated as Jane Howland Place on that certain recorded definitive map entitled "Definitive Subdivision, **Jane Howland Estates Phase E**, Seekonk, Massachusetts, prepared for Mark Dorman and Roy LaCroix, D.B.A. Howland Associates, Inc. by Caputo and Wick, Ltd., dated July 27, 1995". Said plan being duly recorded at the Bristol County Northern District Registry of Deeds in Plan Book 349 at Page 75.

Beginning at a point at the southeasterly terminus of Jane Howland Place. Said point of beginning being located approximately six hundred twenty-five (625) feet southeasterly from Jane Howland Drive;

Said Jane Howland Place is forty-four (44.00) feet in width, beginning at the southeasterly terminus of Jane Howland Place and running generally southeasterly a distance of about five hundred twenty-five (525) feet.

Said parcel is dedicated together with a twenty (20) foot wide drainage easement as shown on said recorded definitive map.

WARRANTY DEED

We, **Roy A. Lacroix and Mark D. Dorman**, of One Lacroix Drive, West Warwick, Rhode Island ("Grantors"), for consideration paid, and in full consideration of less than ONE-HUNDRED AND 00/100 Dollars (U.S. \$100.00) grant to **Town of Seekonk**, a municipal corporation, having an address of 100 Peck Street, Seekonk, Massachusetts 02771 ("Grantee")

with *warranty covenants* the following property in Seekonk, Bristol County, Massachusetts:

**That parcel of land situated on Jane Howland Place, in Seekonk,
Bristol County, Massachusetts, bounded and described in Exhibit A
Legal description attached hereto and made a part hereof**

Subject to restrictions of record, if applicable.

Together with the benefit of an easement to pass and repass over Jane Howland Place in common with all abutters to said way as shown on said Plan and the right to use Jane Howland Place shown on said plan for all purposes for which streets and ways are or may hereafter be used in the Town of Seekonk.

Being a portion of the same premises conveyed to the Grantor(s) by deeds recorded with Bristol County Northern District Registry of Deeds in Book 6472, Page 216; and Book 5670, Page 207.

The Grantor(s) herein state that the property conveyed is commercial property and is not subject to an existing Estate of Homestead; and further state that the property was not the principal residence of the Grantor(s) or any person; and that no former spouse, partner or former partner in a civil union can claim the benefit of an existing estate of homestead.

Witness my hand and seal this _____ day of _____, _____.

ROY A. LACROIX

MARK D. DORMAN

WITNESS TO BOTH

COMMONWEALTH OF MASSACHUSETTS

COUNTY OF BRISTOL, ss.

On this ____ day of _____, _____, before me, the undersigned notary public, personally appeared ROY A. LACROIX, proved to me through satisfactory evidence of identification, which is a current document issued by a federal or state government agency bearing its photographic image of the individual's face and signature, to be the person whose name(s) is signed on the preceding or attached document, and acknowledged to me that she signed it voluntarily for its stated purpose and swore or affirmed to me under the pains and penalties of perjury that any declarations set forth in the above document are true, accurate and complete.

Notary Public:

My Commission Expires:

COMMONWEALTH OF MASSACHUSETTS

COUNTY OF BRISTOL, ss.

On this ____ day of _____, _____, before me, the undersigned notary public, personally appeared MARK D. DORMAN, proved to me through satisfactory evidence of identification, which is a current document issued by a federal or state government agency bearing its photographic image of the individual's face and signature, to be the person whose name(s) is signed on the preceding or attached document, and acknowledged to me that she signed it voluntarily for its stated purpose and swore or affirmed to me under the pains and penalties of perjury that any declarations set forth in the above document are true, accurate and complete.

Notary Public:

My Commission Expires: